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Amherst · New York 14221

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West Herr Lincoln
2601 Millersport Highway
Amherst, NY

Addendum 2
May 03, 2021
Page 1 of 8

This Addendum is issued by the Architect and shall become part of the Contract Documents and is also subject to the terms and conditions set forth in Divisions 0 and 1.

Refer to the Drawings:

- Item No. 1: DELETE drawing C-104 dated 03-24-2021 and REPLACE with drawing C-104 dated 05-03-2021.
- Item No. 2: DELETE drawing C-105 dated 03-24-2021 and REPLACE with drawing C-105 dated 05-03-2021.
- Item No. 3: DELETE drawing C-113 dated 03-24-2021 and REPLACE with drawing C-113 dated 05-03-2021.
- Item No. 4: DELETE drawing A-301 dated 04-15-2021 and REPLACE with drawing A-301 dated 05-03-2021.
- Item No. 5: DELETE drawing A-302 dated 04-15-2021 and REPLACE with drawing A-302 dated 05-03-2021.
- Item No. 6: DELETE drawing A-306 dated 04-15-2021 and REPLACE with drawing A-306 dated 05-03-2021.
- Item No. 7: DELETE drawing ID-1 dated 04-27-2021 and REPLACE with drawing ID-1 dated 05-03-2021.
- Item No. 8: DELETE drawing ID-2 dated 04-27-2021 and REPLACE with drawing ID-2 dated 05-03-2021.
- Item No. 9: DELETE drawing ID-3 dated 04-27-2021 and REPLACE with drawing ID-3 dated 05-03-2021.
- Item No. 10: DELETE drawing ID-4 dated 04-27-2021 and REPLACE with drawing ID-4 dated 05-03-2021.

RFI Responses:

Bid Questions for Owner:

1. Is this project tax exempt? (What is the tax status for this project?) **It will be a capital project and tax exempt.**
2. Advise if the following are provided by the GC: Lincoln Star Wall, Green Wall, Signage **Owner to supply Lincoln Star Wall and Signage. Live Wall by GC.**
3. Is the site by the General Contractor? **Yes**
4. Please advise if a bid bond is required for this project. If so, what percentage of the base bid shall the bond be in the amount of. **No**
5. Please advise if payment and material & labor bonds are required for this project. **No**
6. Per summary of work, bidders were advised that exterior signage is supplied and installed by the owner. Please advise if the interior signage noted to be supplied and installed by AGI is the responsibility of the contractor. **Owner**
7. Will product inventory, equipment and vehicles be removed from site prior to start of work? **GC and Owner to coordinate movement of cars/equipment as required. Service shop to remain open and access.**
8. Will the existing repair facility be closed during construction? The initial site work will affect the water supply, sewer and storm systems, and some of the electric. **Service shop stays open. GC and Owner to schedule and coordinate any required cutovers to minimize impact to operations.**
9. I had a discussion with Jack Simoncelli from Simoncelli Electric. He indicated that they will be excluding all electrical trenching and light pole bases. Please confirm if we are to include this work in our GC pricing. **GC responsible for trenching and light pole bases. GC to coordinate with electrician.**
10. Signage: We have made multiple calls to Ford "AGI" regarding the required signage as noted on A-201. No calls have been returned. Should we **not include** the signage in our bid? **Signs are provided and installed by owner, any electrical or blocking required is on GC.**
11. Is it acceptable for bids to be emailed, rather than hand delivered?
Yes, bids can be e-mailed. Bids must be in Jim Mulka's e-mail inbox by 12 noon on May 6th: jmulka@westherr.com. All bidders must provide a digital copy. Bidders still need to provide a signed hard copy as well, which can be mailed.

Bid Questions for Architect:

1. Reference A3/A-305 – Please provide a specification for the Green Wall shown.
**Answer: Manufacturer: Live Wall
System: Live Wall- outdoor and Live Wall- indoor
Water Feed: Rear
Color: Cool Gray
Location: Service Reception Lanes
Contact: 1-877-554-4065**
2. Reference table of contents in the Project Manual – Please provide Sections 01045 and 01650 as shown.
Answer: These spec. sections are not required, please disregard.
3. Reference Window Treatment sections 10999 & 12500 – The drawings do not indicate the locations of the roller shades and horizontal blinds. Please clarify.

Answer: Window treatments will be by owner. Disregard both of these window treatment specification sections.

4. Reference RCP on drawing A-103 – Service Reception Room 129 shows ceiling height of 14’ and 9’ in adjacent rooms 125, 126, 127, 128. Should gyp. soffit be used to close off the gap at transition between high ceiling and lower ceiling? If so please provide wall type or detail.

Answer: No gypsum soffit. Gypsum board wall will close the gap between the 14’ and 9’ ceilings.

5. Reference RCP on drawing A-103 - Acoustical ceiling and a suspended gyp. ceiling is shown in the vehicle display area. Sections A1/A301 and A1/A302 show a drywall ceiling in these areas only, and does not detail soffits otherwise. Please clarify.

Answer: Ceilings should be as shown on the RCP A-103. See revised details A1/A301 and A1/A302 updated to correspond.

6. Reference A1/A102 – Please provide a detail and specifications for the ADA lift system shown.

Answer: Manufacturer: Handi Lift

1-800-432-5438

System: Custom Enclosure Vertical Platform

Angle Configuration: 90 Degree

Platform size: Standard

Door Configuration: Right Hand

Finish: Glass & Satin Stainless Steel to match railing system

7. Reference Wall Section drawings A301 & A302 – Please confirm that the 2” grout substrate shown is required. Can flooring be installed directly to concrete floor?

Answer: 2” grout substrate is required to accommodate the curtain wall recessed mullion.

8. Reference A1/A306 – Section shows new wall being built in close proximity to existing wall with exterior plywood sheathing and weather barrier. This will be extremely difficult to build as drawn. Can the plywood sheathing and weather barrier be eliminated below the roof line of the existing building?

Answer: The plywood sheathing and weather barrier are required to ensure a water tight enclosure, as our building is abutting an existing pre-engineered metal building with a projecting soffit.

9. Wall section ‘A1/A-306’ is a cut thru the new addition connection at the existing building. I do not see a corresponding structural section thru this area. Is there a new foundation wall to be installed like the architectural shows? Structural drawings do not show this.

Answer: A foundation wall is not required. It has been removed from the architectural drawing-see revised A1/A-306.

10. Reference A1/A104 and 1/P-8 – The plumbing drawings call for the gutter and drains to be by the Architect. The Architectural drawing does not call for the gutter and drains to be by the architect. Please confirm the gutter and drain are to be supplied and installed by the Architect. Also please provide detail on A000 mentioned on A1/A104.

Answer: Continuous aluminum trench gutter and drains to be supplied and installed by GC.

Reference detail should be C1/A310.

11. Reference A1/A-104 – Please provide a detail for the required guard rail shown.

Answer: See added detail E6/A-306 for the roof guard rail.

12. Please advise if substitutions are allowed for this project. If so, please provide substitution procedure specifications.

Answer: Substitutions should be submitted to Owner and Architect for review.

13. A-003 General Note28: Does the project include wet sprinkler protection?

Answer: No.

14. Will there be additional spec sections issued?

- a. Landscaping
- b. Fence
- c. Millwork
- d. Acoustic ceiling
- e. Flooring / Ceramic
- f. Green wall system
- g. Vertical lift

Answer: Specifications on drawings for landscaping, fence, millwork, acoustic ceiling, and flooring/ ceramic. See above answers 1 & 6 for green wall system and vertical lift.

15. Drawing A306/A1, Exterior Elevation Legend on A-201 – Item 3 – corrugated metal siding. Is there a specification?

Answer: Corrugated Metal Panel Specification

Manufacturer: Arconic

Product: 7/8" Corrugated Siding

Color: Colorweld 500 – Oyster White

Contact: 478-230-3600

16. I would like to bring one important thing to your attention regarding the platform lift that you may be able to RFI the Architect on. They have only allotted a width of 2'-10 1/2" for an "ADA Lift System". The minimum width for this unit is 4'-8". The Architect will need to reconfigure this area to accommodate this lift. The 'specified' lift they are looking for (as near as I can tell from the plan note) is a Savaria V-1504-PE Type-2 with Laminated glass panels and doors. This is a 'custom' platform lift with a very hefty price tag (\$100k±). Is this what they want?

AWAITING RESPONSE FROM LINCOLN. WE SHALL FORWARD UPON RECEIPT.

17. Drawing A105/A3 states basis of design etc. Is that all the information we will need for pricing?

Answer: Yes.

18. Some wall sections state 4' vertical insulation yet dimensions show 5'. Please clarify.

Answer: 4' vertical foundation insulation is required.

19. Drawing A304 – is the plumber required to provide the drain pipe with galvanized trench drain cover?

Answer: Yes.

20. Reference Note 15 on Drawing A-201 – The NANA WALL product has height limitations for the specified span of 14'. The maximum height for a 14' wide panel wall is 10'-2". NANA WALL offers a fixed transom above the wall to maintain the full 12' height. A 6" header structure between the fixed transom and operable portion below would be required. Please advise if the 10' high NANA WALL with 1'-6" high fixed transom is an acceptable alternative to achieve the full 12' height of curtain wall.

Answer: The NANA WALL located at Delivery Area 108 is 10' high and 12' wide, so it falls within the height limitations. This alternative should not be necessary. Refer to NW1 on A-602 for NANA WALL dimensions.

21. Nana Wall: The elevation and floor plan show 8 panels in a 12'x10' opening. This cannot be achieved as the panels are well below our minimum size. Your options are to have it quoted as: 5 Panels as 1L4R or 4L1R (This configuration would include a swing door) OR 4 Panels as 2L2R or 4L or 4R (These configurations do not include a swing door).

Answer: Have the Nana Wall quoted as 4 Panels 2L2R.

22. Reference Note 1 on Drawing P-4 – Please advise if the replacement of the potentially damaged drain pipe found should be addressed as a bid allowance or will be addressed via a change order during construction. If it is to be carried as an allowance please provide the amount to be carried in the base bid.

Answer: If drain pipes were found to be damaged and require replacement, it would be addressed via change order.

23. Reference A1/A103 – Dark shaded ceiling areas are shown at the perimeter of rooms 103-107 and in Rooms 111, 116, & 117. The RCP legend does not indicate a material for the dark shaded area. Section cut A3/A-301 shows gyp board soffit at one of the locations indicated. Please advise if the dark shaded area is to be gyp. board soffit similar to the light gray areas.

Answer: Yes, the dark shaded areas are to be gypsum board soffit similar to the light gray areas.

Bid Questions for Interior Designer:

24. Reference Elevation D & G on drawing ID-3 – Please confirm that the owner is to supply and install artwork and monitors as shown. If the contractor is responsible for these items, please provide details and specifications. **I BELIEVE THESE SHOULD BE OWNER SUPPLIED**

25. Reference I/ID-4 and L/ID-4 – Glass types GL-3 and GL-4 are both called out to be used in the Lincoln Emblem Wall in the referenced details. The finish legend on ID-2 only calls for GL-4 to be used in the Lincoln Emblem Wall. Please confirm only GL-4 should be used in the Lincoln Emblem Wall location. **CLARIFICATION: ELEVATION I/ID-4 IS A FULL WALL OF GL-4 FROSTED GLASS WITH CLEAR CUT-OUTS OF THE LINCOLN EMBLEM SHAPE IN DELIVERY SUITE 108. ELEVATION L/ID-4 IS A WD-1 WALL WITH LINCOLN EMBLEM CUT OUT SHAPES IN GL-3 BACK PAINTED GLASS IN THE BAR AREA OF THE CUSTOMER LOUNGE 124.**

26. ID-6 Millwork Note 7: Will 12' be acceptable for HP laminate seam locations? Laminate sheets typically are available in 8',10'&12'lengths. Note 7 calls out for no seams under 15' length. If there are any decks longer than 12' its normal common practice to center the seam as long as it doesn't fall on a sink location. **12'L WILL BE ACCEPTABLE, CENTERING THE SEAM AS LONG AS IT DOES NOT FALL ON A SINK LOCATION.**

27. Ceramic Tile:

- a. Women's Toilet 117, Men's Toilet 116 on ID-2 CWT-5, no tile listed as this, should it be CT-5? **IT SHOULD READ CT-5.**
- b. Service Reception 129 on ID -2 shows CT-7 and CT-4 not sure as to what they want **CT-7 IS THE FURTHEST LEFT 4 COURSES OF FLOOR TILE, CREATING A VISUAL CORRIDOR. CT-4 FLOOR TILE IS IN THE REMAINING AREA OF SERVICE 129 & 129a.**
- c. ID-2 women's 117 and Men's 116 CWT-5 on Fixture wall, full height?? **PLEASE REFER TO ID-8 FOR TOILET ROOM WALL ELEVATIONS FOR TILE EXTENTS.**
- d. ID-2 Men's locker room 122a, tile to 6' on all walls is there a Schluter or something required at top course of tile. **YES. EP-1 HAS BEEN ADDED (Under Wall Finishes) TO THE TOP EDGE OF ALL WALL TILE IN 122a: SCHLUTER'S JOLLY SERIES IN PVC, SAND PEBBLE. TILE CONTRACTOR TO DETERMINE APPROPRIATE SIZE.**
- e. ID-2 Men's locker room is cove base required, it is in the toilet rooms. **YES. CWB-2: DAL TILE'S 6" X 12" MATTE FINISH, PLANES TAUPE COVE BASE & COVE BASE OUTCORNERS HAVE BEEN ADDED IN 112, 113, 115, 122, 122a & 122b.**

28. Per revised drawings ID-1 you state to include plumbing in the alternate price for the waterwall/millwork. What work does this entail on the GC's end? Would the owner's selected plumber include this work? Is there a specification for the waterwall? **SHOULD BE PART OF THE PLUMBING SCOPE. SECTION 10 IS SHOWN ON ID-4.**

29. ID-1 – LV514 states quantity (1) YES: 1 IN 125. However this is listed in rooms 107 and 125. Is this mislabeled? YES. Possibly LV502? NOW LABELED LV5-- IN 107.
30. ID-1 – LV504 – number not being found. Maybe just over looking this? YES. REFER TO ELEVATION J IN DELIVERY SUITE 109 ON DWG. ID-1.
31. Is there a spec. for the ceilings? YES. REFER TO THE MISCELLANEOUS SECTION OF FINISH SCHEDULE ON DWG. ID-2: ACOUSTICAL CEILING.
32. There is no spec. for the millwork. Are we to supply & install? YES. G.C. TO SUPPLY & INSTALL.
33. There are 2 sets of stairs in the showroom and one on the exterior – just curious if these will be getting ceramic and if so what type of stair nose edging? ?
34. What is detail of RL-1 in vehicle display area? NOW CHANGED TO CERAMIC TILE CT-8.
35. Would like to confirm TS-2 will accent all areas that meet WF-1? YES. ALL AREAS BETWEEN TILE / WOOD FLOORING FINISHES SHALL RECEIVE TS-2 AS NOTED.
36. What finish and type of schluter for top of wall tile in mens locker room? REFER TO SPECIFICATION IN INTERIOR DESIGN QUESTION 4d. ABOVE.
37. Reference new Wall System Schedule on ID-1 – Please provide material specifications for the TX-1 vinyl mentioned in the wall finishes section. NOW REVISED TO FWP-1
38. Reference Elevations A&B on ID-3 = The finish schedule on ID-2 calls for GL-2 to be used at the Black Label Feature Walls. Elevations A&B on ID-3 shows GL-1 being used at the Black Label room. Please advise. ID-3 WITH GL-1 IS CORRECT. GL-2 IS NOT BEING USED IN THIS LOCATION.
39. Reference Men's Locker Room Fixture Plan on ID-8 – Please confirm the lockers and bench shown are not the responsibility of the contractor to supply nor install. If these items are the responsibility of the contractor please provide a manufacturer and product type for each. LOCKERS AND BENCH TO BE PROVIDED & INSTALLED BY OWNER.
40. Reference revised drawing ID-1 – The Wall System notes say to provide a separate quote for all new wall systems. Please confirm these items should be priced as an alternate to the bid. In addition please revise the Bid Form to include a space for the alternate pricing. THESE WALL MILLWORK UNITS SHALL BE PART OF THE BASE BID. A SEPARATE LINE ITEM HAS BEEN MADE AVAILABLE ON THE FORM OF BID PROPOSAL: IN THE BID BREAKDOWN SECTION, TO DENOTE ALL OF THE COSTS ASSOCIATED WITH THE MILLWORK WALLS AS DETAILED ON DWG'S. ID-3 AND ID-4.
41. Reference revised drawing ID-1 – The New Wall System between rooms 106 & 107 shows flooring WF1 underneath it. However all other New Wall Systems do not show flooring below. Please advise if flooring to be installed under New Wall Systems. YES. FLOORING IS REQUIRED TO BE INSTALLED BENEATH ALL NEW MILLWORK WALL SYSTEMS.
42. Reference 10/ID-4 from the revised ID set – Water Wall notes mention reservoir system provider. Please provide a basis of design for the Water Wall System.
Lincoln Recommended Water Wall Supplier - Please contact:
Midwest Tropical Inc.
Michael W. Burnett
Vice President of Sales and Marketing
3420 W. Touhy Ave.
Skokie, IL 60076
Voice - 847.679.6666
Fax - 847.679.6669
Email - MICHAEL@MIDWEST-TROPICAL.COM

Bid Questions for Civil Engineer:

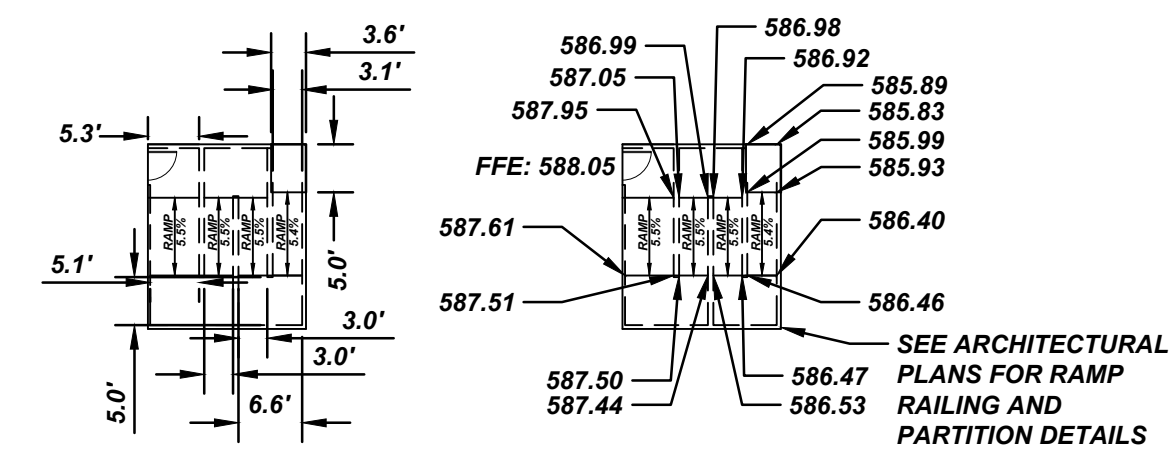
1. Plan appears to show curbing at a portions of North, East, South & West of the parking line as double lines. No call out provided to indicate that it is curbing. Please clarify.
Answer: I have put callouts for the 6" upright curbs and have added a few more drainage slots. All revisions are clouded so you can see where they are. I have attached PDF's of sheets C-104 and C-105 with the revisions clouded.
2. Will the 6" DIP waterline that is bored under Millersport Hwy to be provided by ECWA?
Answer: The ECWA is responsible for the work and materials within the Millersport Highway right of way. The contractor is responsible for the work and materials within the project site.
3. Landscaping:
 - a. Referring to the plant schedule: Is CA on the sheets c111 and c106 the CS on the schedule? CA is not on schedule. **CA is Cornus sericea "Allemands", keyed (erroneously) as "CS" on the schedule.**
 - b. Is the Lone QP on the plan c111 the Pin oak labeled QB on the schedule? There are two QB on the schedule. **Quercus palustris (Pin oak) is keyed (erroneously) as "QB" on the schedule and should have been keyed "QP".**
 - c. What is the PW x1 sheet c106? It is not on schedule
 - d. What is the size of PW? **PW – Prunus x 'Snofozam' – Snow Fountains® Weeping Cherry; Min. Size = 5' Height; B&B; Qty = 1**
 - e. What is the PM x1 sheet c106? It is not on schedule
 - f. What is the size of PM? **PM – Pinus mugo var. pumilio – Dwarf Mugo Pine; Min. Size = 3' Height; #7 container; Qty = 1**
 - g. What is the PO on sheet c111? It is not on schedule?
 - h. What is the size of PO? **Physocarpus opulifolius – Common Ninebark; Min. Size = 3' Height; #5 container; Qty = 8**
4. Are all trees required to be staked with the 2x4 brace regardless of height and clump status? Landscaping: D-1-D-2 & C-1 / Drawing C-118 details typical tree staking. Does this apply to all trees (200+)? This is an expensive detail. **The tree stakes are not imperative to the survival of the trees but are intended as an aid to keep them upright as they become established. At a minimum, all trees installed on the bank of, and atop, the berm to be staked.**
5. Reference Site Plan C-104: It is assumed that concrete paving is required at the new building, but it is not clearly called out. There is also no detail to reference. Please provide a revised drawing showing the limits of the concrete paving required at the new building and provide a detail.
The drawing does not all out concrete paving. The limit of paving replacement indicates asphalt paving. Only the new sidewalks are to be concrete.
6. Please provide details pertaining to Automobile ramp, Pedestrian ramp, and HC ramp including thickness and reinforcement at a minimum. **Automobile ramp, Pedestrian ram, and HC ramp are by Architect.**
7. Has an application for new water service been submitted with ECWA? If so, please provide connection fees so that we may include in our bids.
The ECWA has provided a cost of for a 6" service in that area would be about \$60,000 to \$70,000 depending on casing pipe length; ECWA to finalize estimate. The 2" service is a flat rate of \$2,300.
8. Please advise if a DOT ROW permit will be required for work being performed on this project. If so, has an application been submitted to the DOT?

A NYSDOT permit will be required, design plans will be submitted to the NYSDOT for review 5-3-2021.

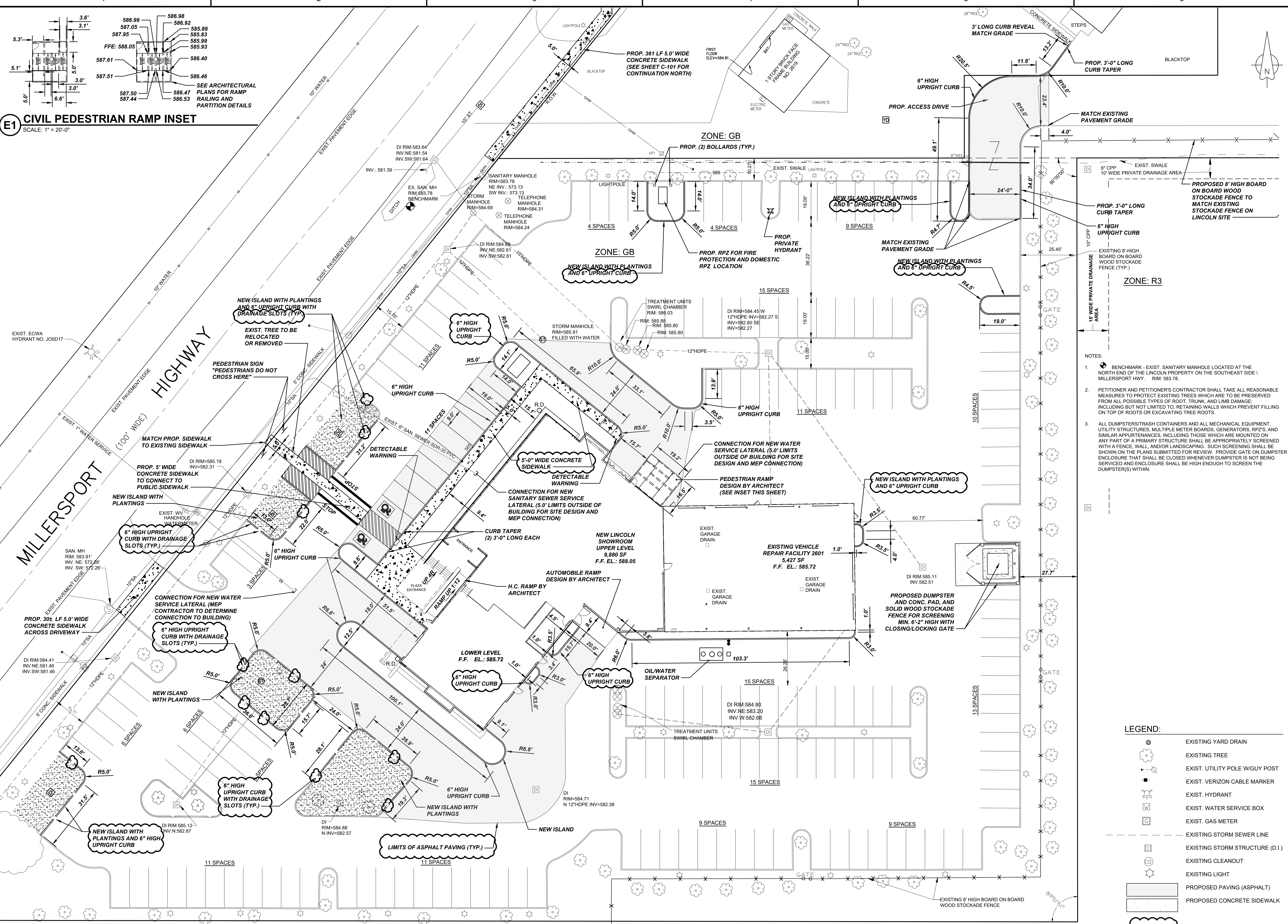
9. Fence:
 - a. C-104 calls out new board on board fence but detail on C-113 seems to show a full two-sided fence. However, I think the existing fence is a standard solid board fence with 3 rails. What should we include? **Match existing.**
 - b. What type of wood? We assume pressure treated. **Match existing.**

End of Addendum

E1 CIVIL PEDESTRIAN RAMP INSET
SCALE: 1" = 20'-0"



A1 SITE PLAN
SCALE: 1" = 20'-0"



- NOTES:**
- BENCHMARK - EXIST. SANITARY MANHOLE LOCATED AT THE NORTH END OF THE LINCOLN PROPERTY ON THE SOUTHEAST SIDE MILLERSPORT HWY. RIM: 583.78.
 - PETITIONER AND PETITIONER'S CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
 - ALL DUMPSTERS/TRASH CONTAINERS AND ALL MECHANICAL EQUIPMENT, UTILITY STRUCTURES, MULTIPLE METER BOARDS, GENERATORS, RPZ'S, AND SIMILAR APPURTENANCES, INCLUDING THOSE WHICH ARE MOUNTED ON ANY PART OF A PRIMARY STRUCTURE SHALL BE APPROPRIATELY SCREENED WITH A FENCE, WALL, AND/OR LANDSCAPING. SUCH SCREENING SHALL BE SHOWN ON THE PLANS SUBMITTED FOR REVIEW. PROVIDE GATE ON DUMPSTER ENCLOSURE THAT SHALL BE CLOSED WHENEVER DUMPSTER IS NOT BEING SERVICED AND ENCLOSURE SHALL BE HIGH ENOUGH TO SCREEN THE DUMPSTER(S) WITHIN.

LEGEND:

- EXISTING YARD DRAIN
- EXISTING TREE
- EXIST. UTILITY POLE/WIGUY POST
- EXIST. VERIZON CABLE MARKER
- EXIST. HYDRANT
- EXIST. WATER SERVICE BOX
- EXIST. GAS METER
- EXISTING STORM SEWER LINE
- EXISTING STORM STRUCTURE (D.I.)
- EXISTING CLEANOUT
- EXISTING LIGHT
- PROPOSED PAVING (ASPHALT)
- PROPOSED CONCRETE SIDEWALK
- REVISION

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WEST HERR LINCOLN DEALERSHIP ADDITION AND STORAGE LOT EXPANSION
2601, 2619 & 2635 MILLERSPORT HIGHWAY
LINCOLN DEALERSHIP SITE PLAN

REVISIONS

No.	DESCRIPTION	DATE
1	TN OF AMHERST REVIEW COMMENTS	03/01/21
2	TN OF AMHERST REVIEW COMMENTS	03/24/21

NUSSBAUMER & CLARKE, INC.
A CORPORATION REGISTERED TO PRACTICE PROFESSIONAL ENGINEERING & LAND SURVEYING IN THE STATE OF NEW YORK
SEAL
SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW

PROJECT NUMBER: 20J5-0034
DATE: 11-13-20
DRAWN BY: VBS
DESIGNED BY: VBS
CHECKED BY: MCD/RJP
APPROVED BY: MTM
SCALE: AS NOTED
SHEET No. 5 OF 23
C-104

H:\Land Development\20J030 - West Herr Automotive Group\05 Working Drawings\02 Discipline (DWG)\C-Civil\Revised.dwg per Planning Review 12-16-20\20J5-0030 SITE PLAN rev per town 4-7-21.dwg 5/3/2021 VSR/CD/CE

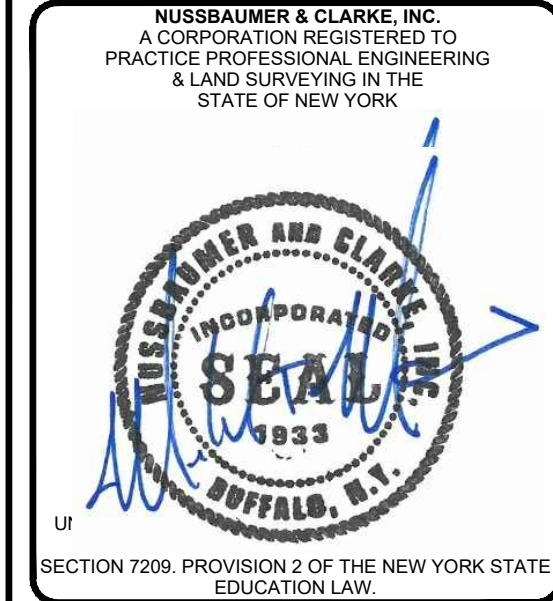


3586 Lake Shore Road, Suite 500 | Buffalo, NY 14219
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**WEST HERR LINCOLN DEALERSHIP ADDITION
 AND STORAGE LOT EXPANSION
 2601, 2619 & 2635 MILLERSPORT HIGHWAY**

GRADING, PAVING, UTILITY & DRAINAGE PLAN

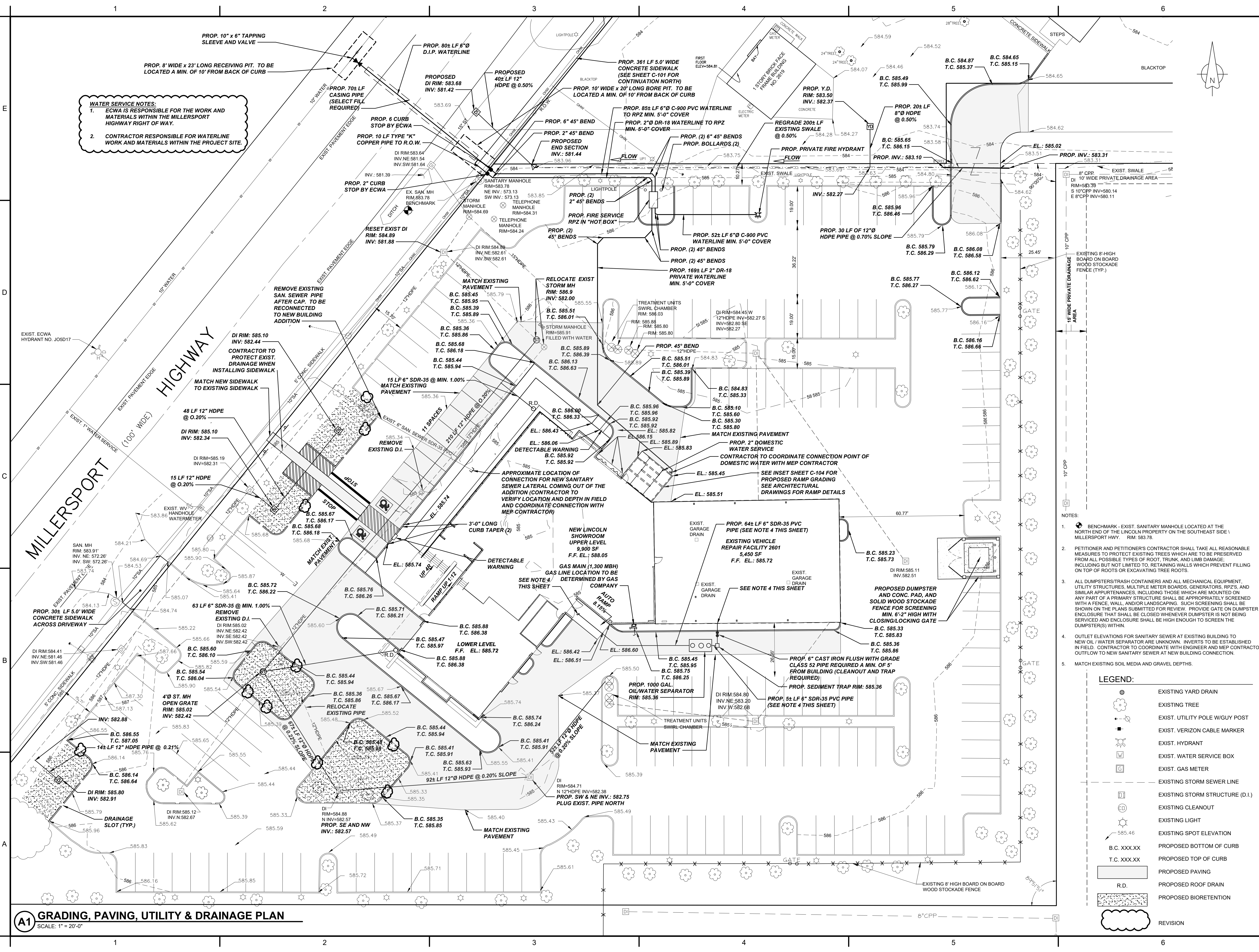
No.	DESCRIPTION	DATE
1	TN OF AMHERST REVIEW COMMENTS	03/01/21
2	TN OF AMHERST REVIEW COMMENTS	03/17/21
3	TN OF AMHERST REVIEW COMMENTS	03/24/21



SECTION 7209: PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW

PROJECT NUMBER	20J5-0034
DATE	11-13-20
DRAWN BY	VBS
DESIGNED BY	VBS
CHECKED BY	MCD/RJP
APPROVED BY	MTM
SCALE:	
SHEET No.	6 OF 23

C-105



WATER SERVICE NOTES:

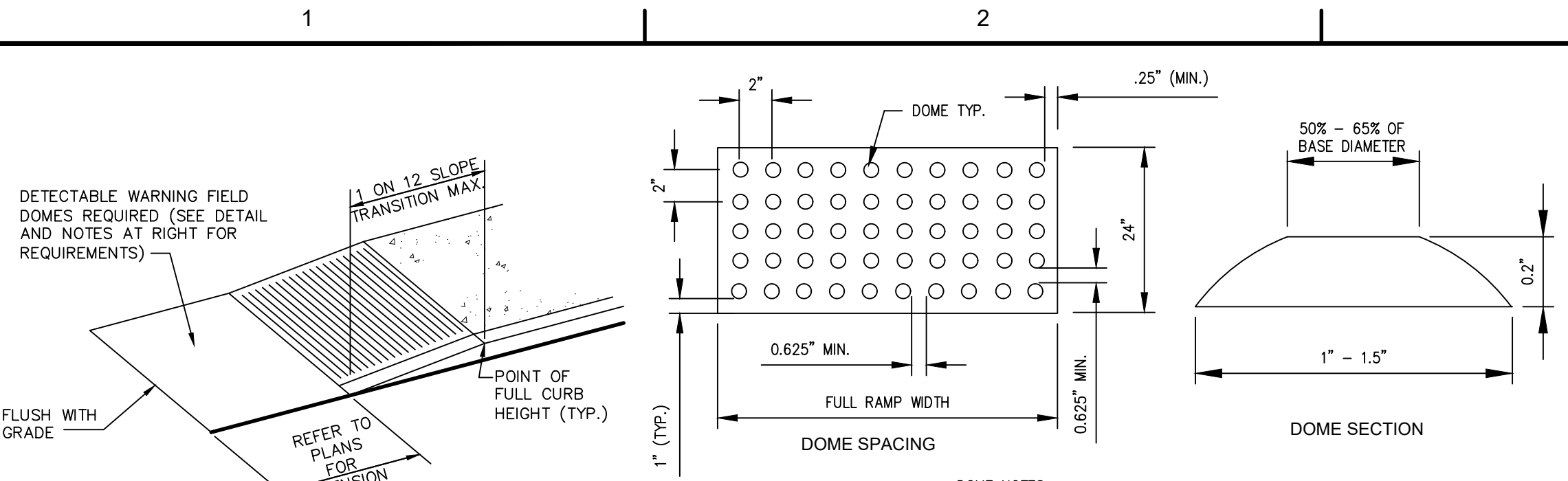
- ECWA IS RESPONSIBLE FOR THE WORK AND MATERIALS WITHIN THE MILLERSPORT HIGHWAY RIGHT OF WAY.
- CONTRACTOR RESPONSIBLE FOR WATERLINE WORK AND MATERIALS WITHIN THE PROJECT SITE.

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 - OUTLET ELEVATIONS FOR SANITARY SEWER AT EXISTING BUILDING TO NEW OIL/WATER SEPARATOR ARE UNKNOWN. INVERTS TO BE ESTABLISHED IN FIELD. CONTRACTOR TO COORDINATE WITH ENGINEER AND MEP CONTRACTOR OUTFLOW TO NEW SANITARY SEWER AT NEW BUILDING CONNECTION.
 - MATCH EXISTING SOIL MEDIA AND GRAVEL DEPTHS.

LEGEND:

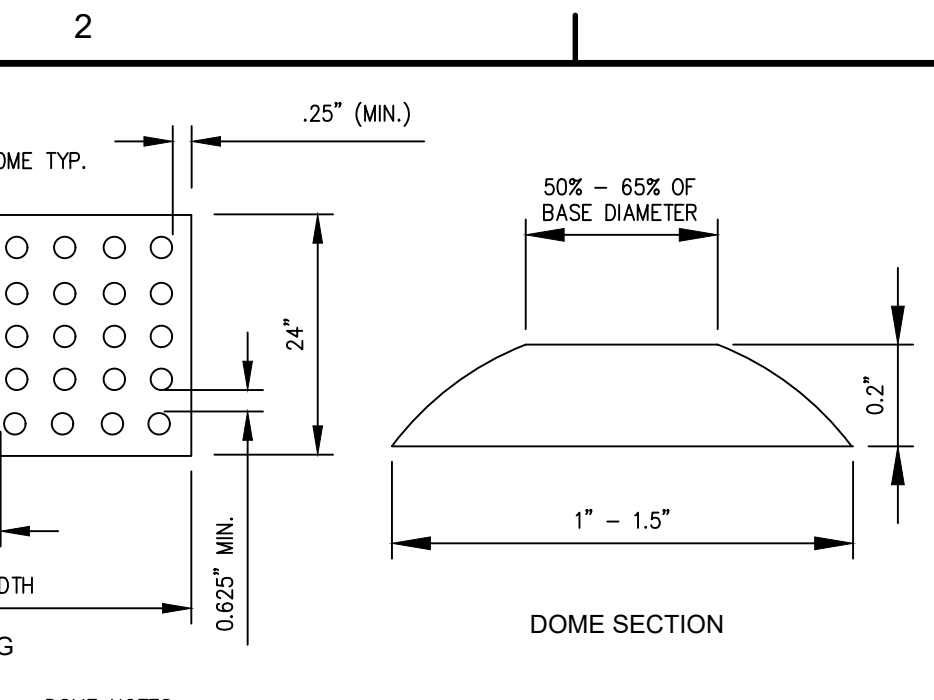
	EXISTING YARD DRAIN
	EXISTING TREE
	EXIST. UTILITY POLE W/GUY POST
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	EXISTING STORM STRUCTURE (D.I.)
	EXISTING CLEANOUT
	EXISTING LIGHT
	EXISTING SPOT ELEVATION
	B.C. XXX.XX
	T.C. XXX.XX
	R.D.
	REVISION

A1 GRADING, PAVING, UTILITY & DRAINAGE PLAN
 SCALE: 1" = 20'-0"



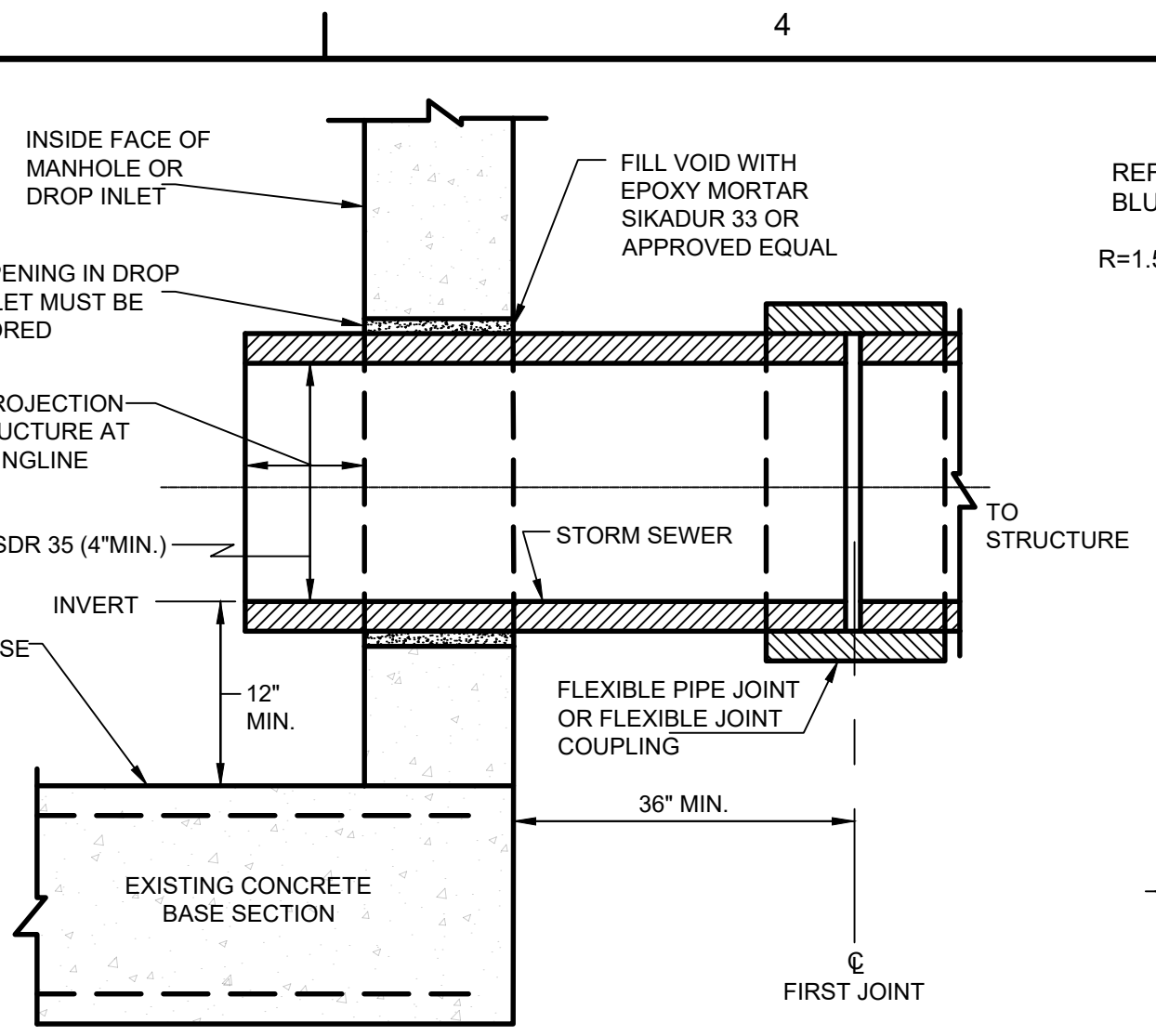
- SIDEWALK RAMP NOTES:**
1. THE TYPE AND LOCATION SHOWN ON THE PLANS ARE FOR INFORMATION ONLY. THE FINAL TYPE AND LOCATION SHALL BE DESIGNATED BY THE ENGINEER IN CHARGE.
 2. THE SURFACE OF ALL SIDEWALK CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT. A COARSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE ON CEMENT CONCRETE CURB RAMPS.
 3. THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 4. THE SIDE SLOPE SHALL BE 1:12 FOR A MAXIMUM WIDTH OF 6 FT. EXCEPT: A WHEN THE SIDE SLOPE IS NEXT TO A LANDSCAPED PARKWAY, THE MAXIMUM WIDTH = 4 FT. B WHEN THE SIDE SLOPE ENCOMPASSES A SIGNAL POLE, UTILITY POLE, ETC., THE MAXIMUM WIDTH = 4 FT. C WHERE THE TOP OF THE SIDE SLOPE IS WITHIN 1 FT. OF THE P.T., USE THE P.T. AS THE TOP OF SLOPE. AT A CORNER WHERE THE CURB RADIUS IS 25 FT. OR D LESS, A SINGLE RAMP (EITHER TYPE A, B, OR C) LOCATED DIAGONALLY, CAN OFTEN SERVE CROSSWALKS IN TWO DIRECTIONS. HOWEVER, A SINGLE RAMP SHALL ONLY BE USED WHERE THERE IS A MINIMUM CLEAR SPACE OF 48 INCHES FALLING ENTIRELY WITHIN THE PROJECTION OF THE INTERSECTING CURBS, WHERE THE RADIUS EXCEEDS 25 FT. OR THE MINIMUM 48 INCH CLEAR SPACE IS UNACHIEVABLE, THEN SEPARATE RAMPS SHOULD BE PROVIDED FOR EACH CROSSWALK.

D1 HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE

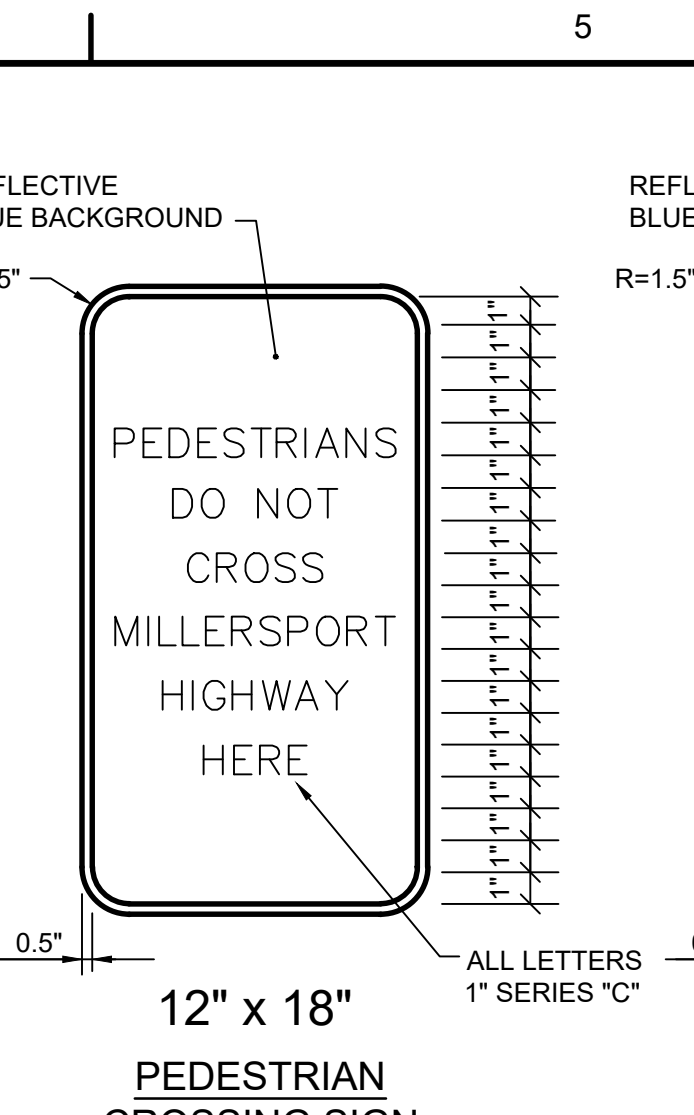


- DOMES NOTES:**
1. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE, THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING FIELD (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
 2. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
 3. LOCATION OF DETECTABLE WARNINGS. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OF THE WARNING FIELD NEAREST TO THE ROADWAY OR STREET SURFACE IS 6" TO 9" (12" WHERE TRAVERSABLE CURB IS USED) FROM THE EDGE OF THE ROADWAY/STREET, OR FROM THE FRONT OF THE DROPPED CURB, WHERE A DROPPED CURB CONTIGUES ACROSS THE BOTTOM OF THE SIDEWALK CURB RAMP.
 4. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 16" TO 19" FROM THE FACE OF THE GATE ARM, WHERE THERE IS NO GATE, THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO THE TRACKS SHALL BE 15 FEET FROM THE CENTERLINE OF THE NEAREST TRACK.
 5. DOME ALIGNMENT. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL.
 6. COLOR REQUIREMENTS. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR SHALL VISUALLY CONTRAST WITH THE ADJOINING CURB RAMP, OR OTHER ADJACENT WALKWAY SURFACES WHERE THERE IS NO CURB RAMP. EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT AS DEFINED IN THE AMERICANS WITH DISABILITIES ACCESSIBILITY GUIDELINES (ADAAG).
 7. PAYMENT LINES ARE THE 24" DIMENSION SHOWN IN THE DETAILS EXTENDING THE FULL WIDTH OF THE CURB RAMP AND/OR APPLICABLE SURFACES.
 8. OMIT DETECTABLE WARNINGS WHERE THERE WILL BE LESS THAN 24" OF SPACE BETWEEN THE DETECTABLE WARNING FIELDS.

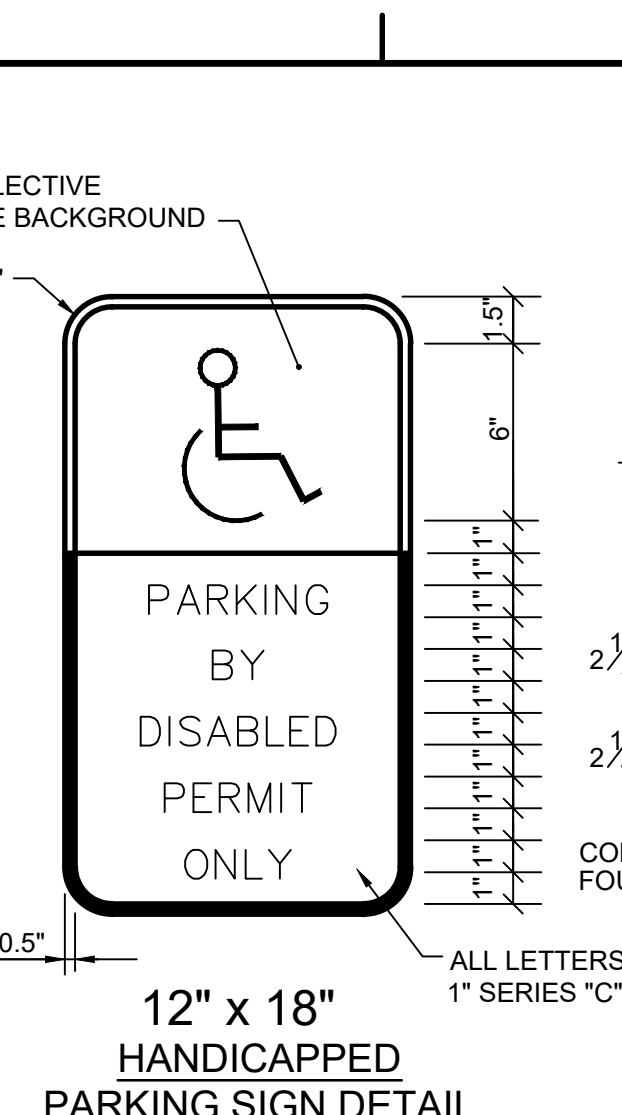
D2 DETECTABLE WARNING FIELD DETAIL
SCALE: NOT TO SCALE



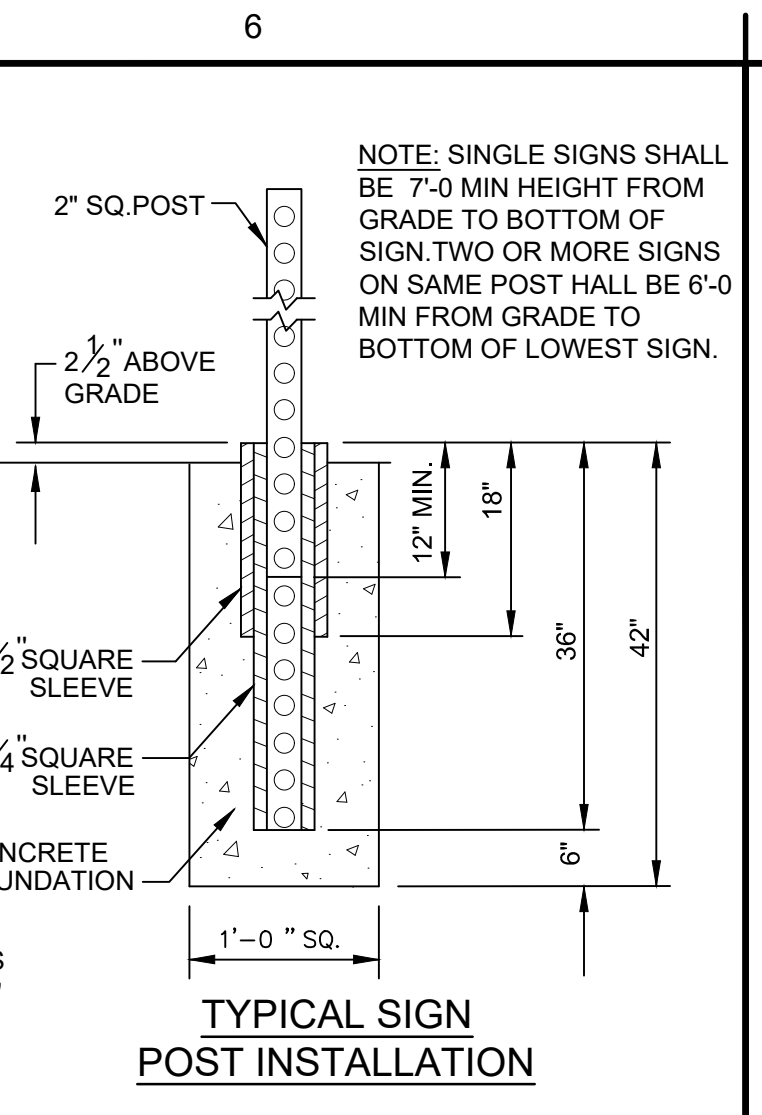
D4 CONNECTION TO EXISTING DROP INLET
SCALE: NOT TO SCALE



D5 PEDESTRIAN CROSSING SIGN DETAIL



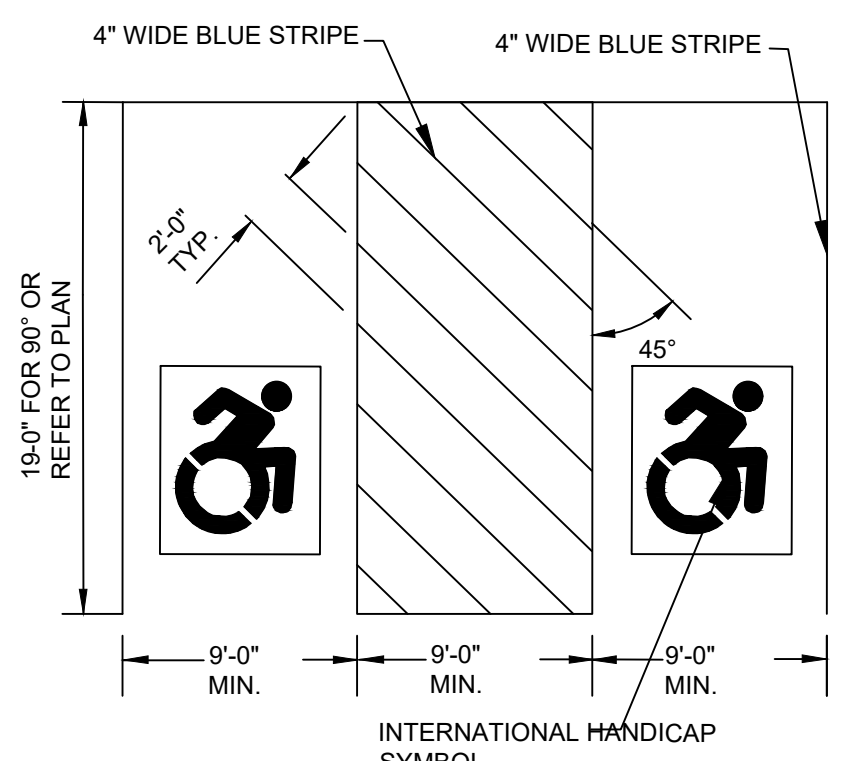
D6 HANDICAPPED PARKING SIGN DETAIL



TYPICAL SIGN POST INSTALLATION

- GENERAL HANDICAP SIGN NOTES:**
1. TOP PORTION OF FTP-25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION OF FTP-25 SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP-25 SHALL BE FABRICATED ON ONE PANEL.
 4. THE SIGN SHALL BE PLACED A MINIMUM OF 3' FROM THE WHEEL STOP OR THE BACK OF CURB (WHERE APPLICABLE).

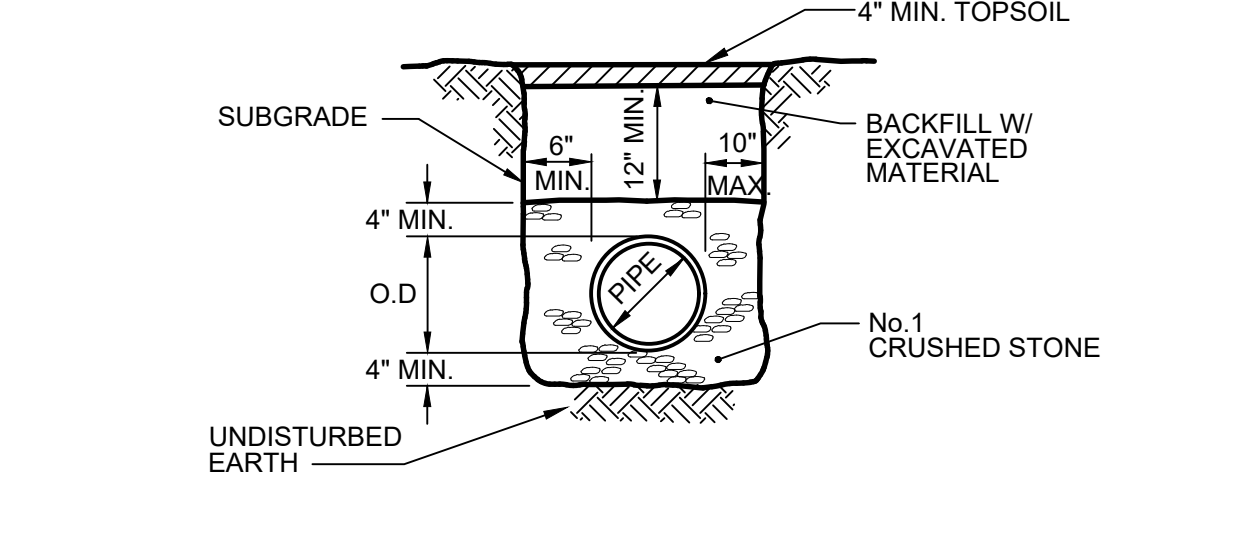
D6 TYPICAL BOLLARD DETAIL W/SIGN POST
SCALE: NOT TO SCALE



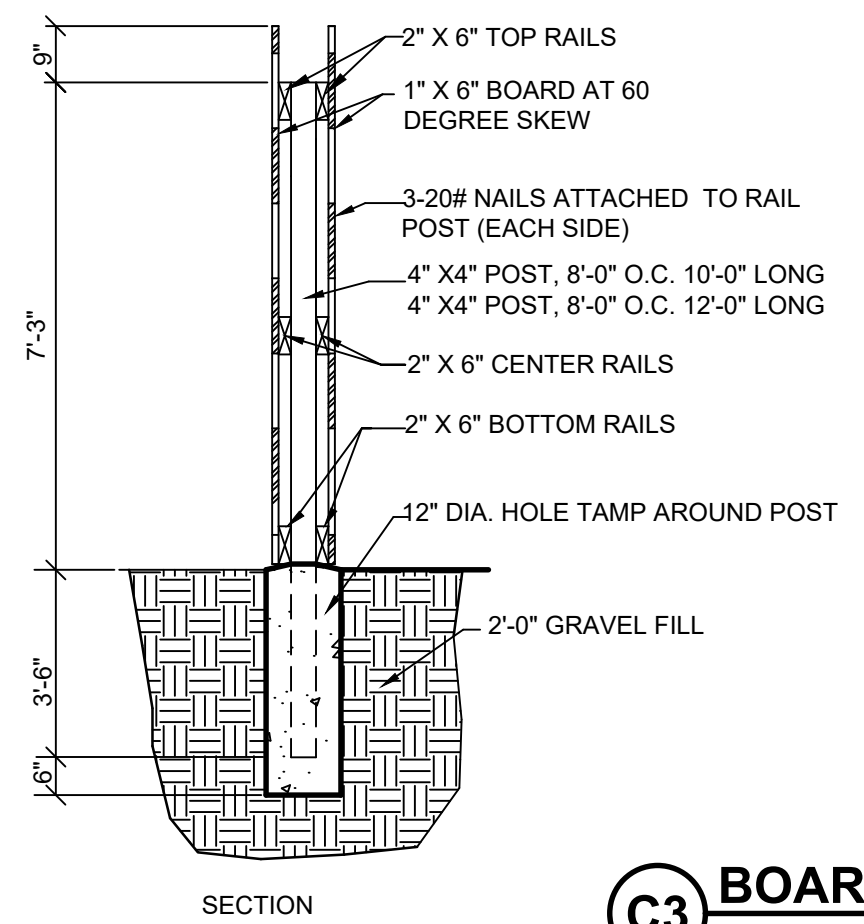
- NOTE: ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1:5% (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8\"/>**
- GENERAL HANDICAP SIGN NOTES:**
1. TOP PORTION OF FTP-25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION OF FTP-25 SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP-25 SHALL BE FABRICATED ON ONE PANEL.
 4. THE SIGN SHALL BE PLACED A MINIMUM OF 3' FROM THE WHEEL STOP OR THE BACK OF CURB (WHERE APPLICABLE).

C6 STRIPING DETAIL FOR HANDICAP PARKING
SCALE: NOT TO SCALE

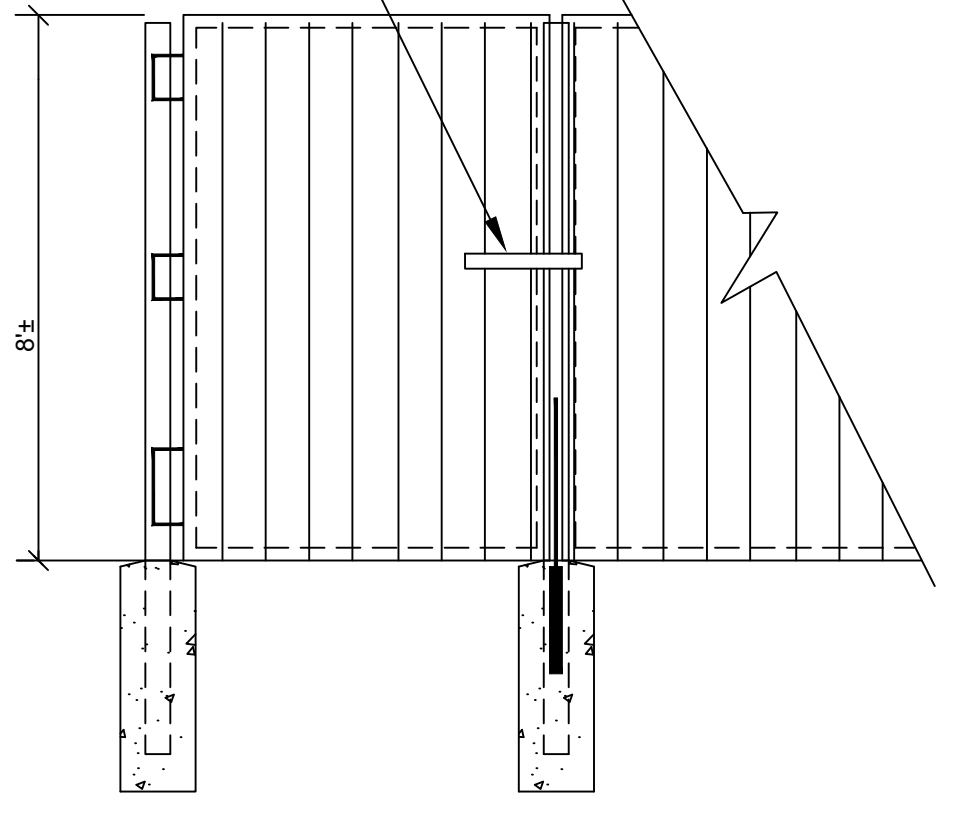
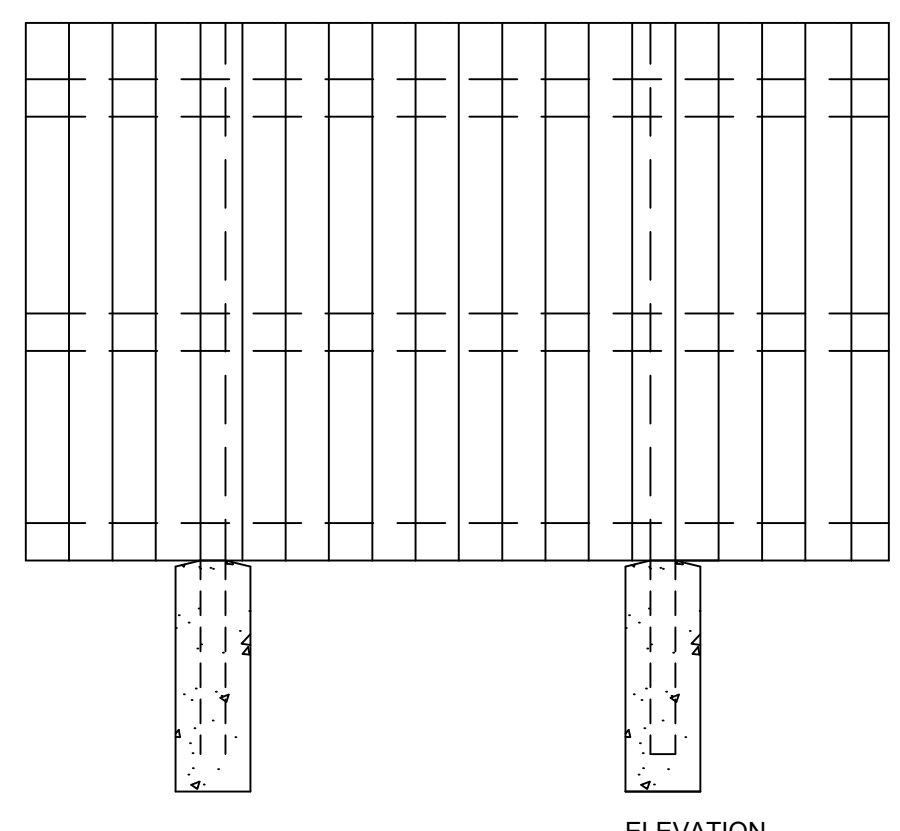
- GENERAL NOTES:**
1. THE CONTRACTOR SHALL COMPLY WITH THE TOWN OF CLARENCE STANDARD DRAWINGS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND THE TOWN OF AMHERST ENG. DEPT. OF ANY HAZARDOUS SUBSTANCE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. HE SHALL AT HIS EXPENSE, CONFORM TO ALL LAWS, RULES, REGULATIONS AND DIRECTIONS AS PROMULGATED BY THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, THE NEW YORK STATE DEPARTMENT OF HEALTH AND ANY SUCH LOCAL LAWS, ORDINANCES AND LAWS WHEN ENCOUNTERING OR WORKING WITH ANY SUCH HAZARDOUS SUBSTANCE.
 3. THE CONTRACTOR SHALL COMPLY IN ALL RESPECTS TO THE INDUSTRIAL CODE PART (RULE NO.) 53 RELATING TO CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES, AS ISSUED BY THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARD AND APPEALS.
 4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF THE PIPE LAYING OPERATION, SO THAT, IF MINOR ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT DUE TO INTERFERENCE FROM THESE UTILITIES, SAID CHANGES CAN BE MADE IN ADVANCE OF THE WORK.
 5. UNSUITABLE MATERIALS SUCH AS FROZEN ORGANIC AND/OR VEGETABLE MATERIAL, DEBRIS, TREES, LUMBER, LARGE STONES OR CLODS (6\"/>
 6. THE COMPACTION OF ALL MATERIALS WILL OCCUR AT 6" INCREMENTS.
 7. SHOULD A FLUID CONDITION BE ENCOUNTERED AT THE TRENCH BOTTOM, THE CONTRACTOR IS TO INSTALL ADDITIONAL STONE CRADLE AS ORDERED BY THE ENGINEER.



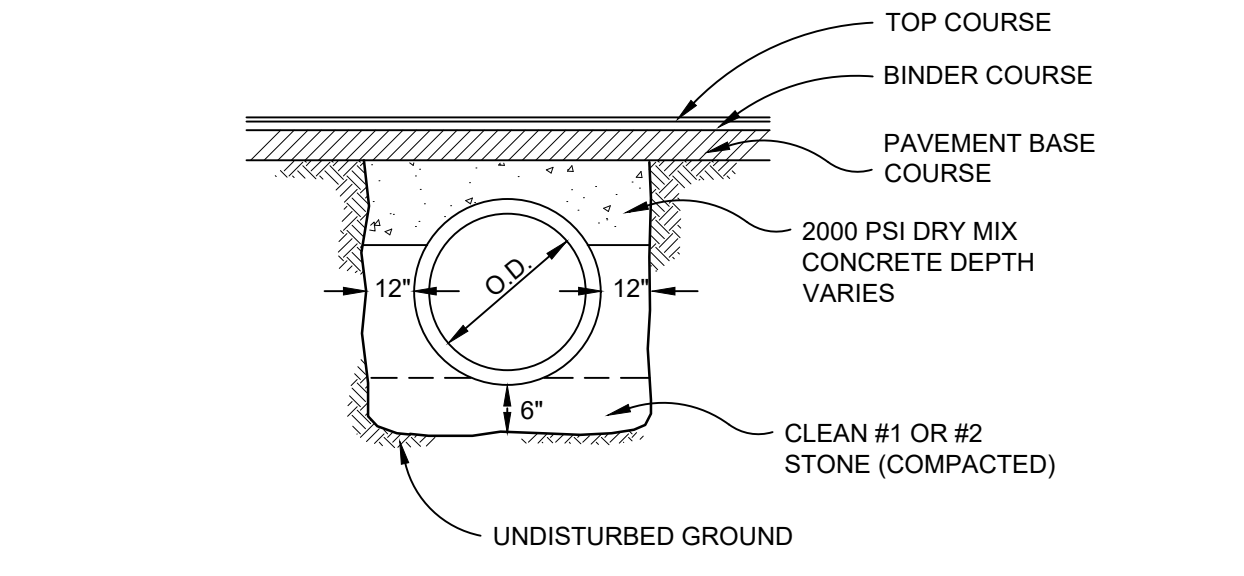
C1 TYPICAL SECTION FOR EARTH BACKFILL
SCALE: NOT TO SCALE



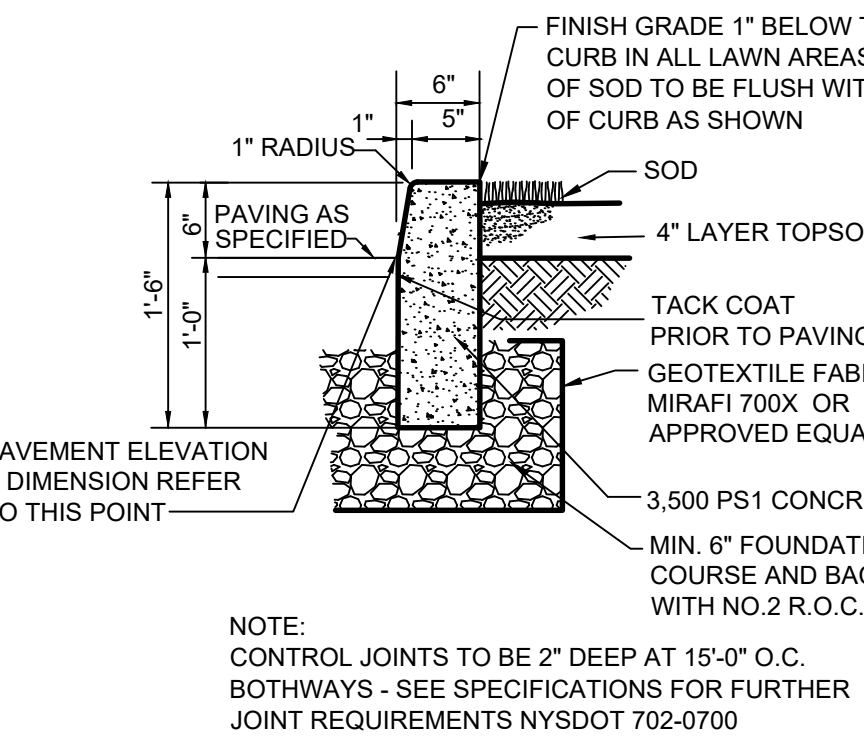
C3 BOARD ON BOARD WOOD FENCE DETAIL
SCALE: NOT TO SCALE



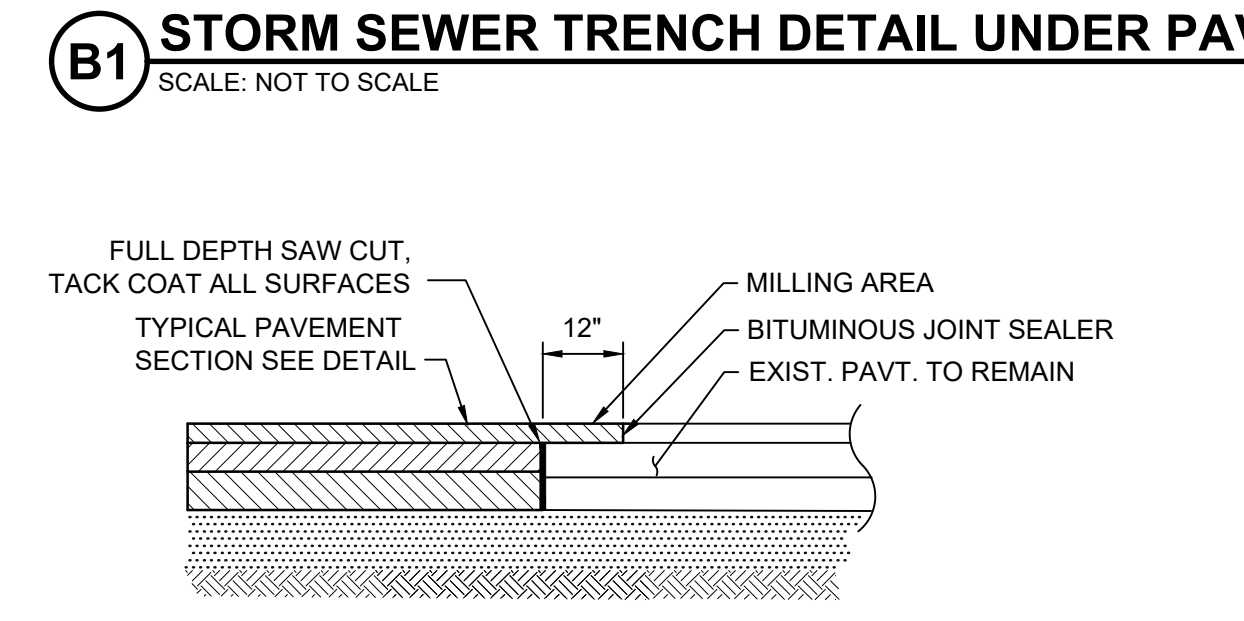
- DUMPSTER NOTE:**
1. DUMPSTER CONTAINER SHALL BE VISUALLY SCREENED ON ALL SIDES FROM ADJACENT PROPERTIES WITH AN OPAQUE MATERIAL WHICH MAY INCLUDE SHRUBS, WALLS, FENCES OR BERMS.
 2. MATERIALS AND DUMPSTERS STORED IN AN AREA SHALL NOT PROTRUDE ABOVE THE SCREEN.



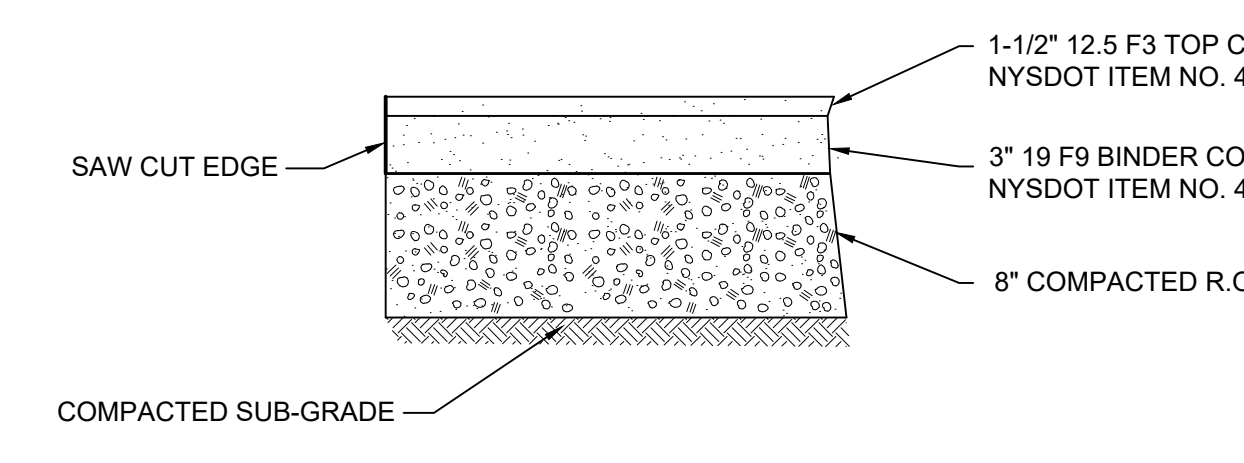
B1 STORM SEWER TRENCH DETAIL UNDER PAVEMENT
SCALE: NOT TO SCALE



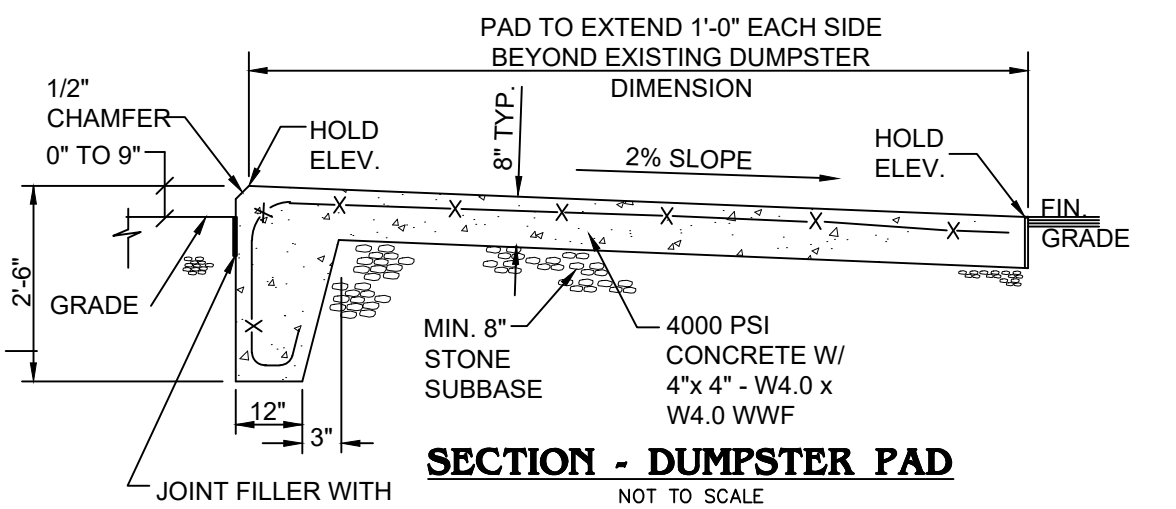
B2 TYPICAL CURB DETAIL
SCALE: NOT TO SCALE



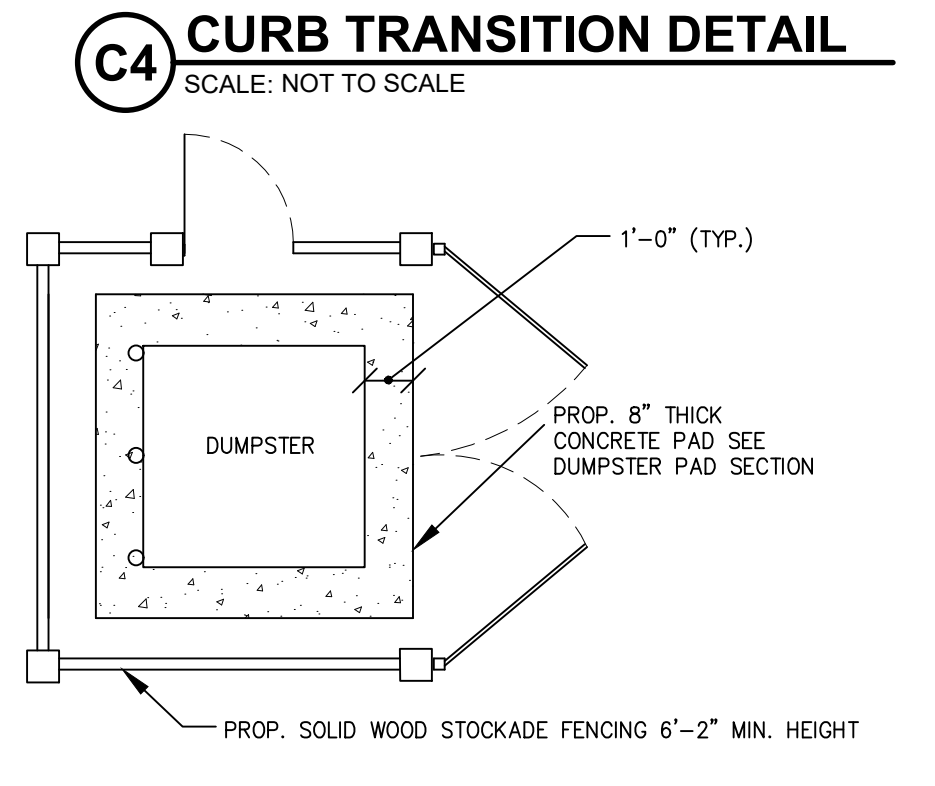
A1a PAVEMENT MILLING AND OVERLAY
SCALE: NOT TO SCALE



A1 TYPICAL ASPHALT PAVEMENT SECTION
SCALE: NOT TO SCALE



A3 DUMPSTER DETAIL WITH CONC. PAD
SCALE: NOT TO SCALE



C4 CURB TRANSITION DETAIL
SCALE: NOT TO SCALE

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ENGINEERS AND SURVEYORS
EST. 1953
3556 Lake Shore Road, Suite 500 | Buffalo, NY 14219
(716) 827-8000 | (716) 826-7958 fax
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WEST HERR LINCOLN DEALERSHIP ADDITION AND STORAGE LOT EXPANSION
2601, 2619 & 2635 MILLERSPORT HIGHWAY

REVISIONS

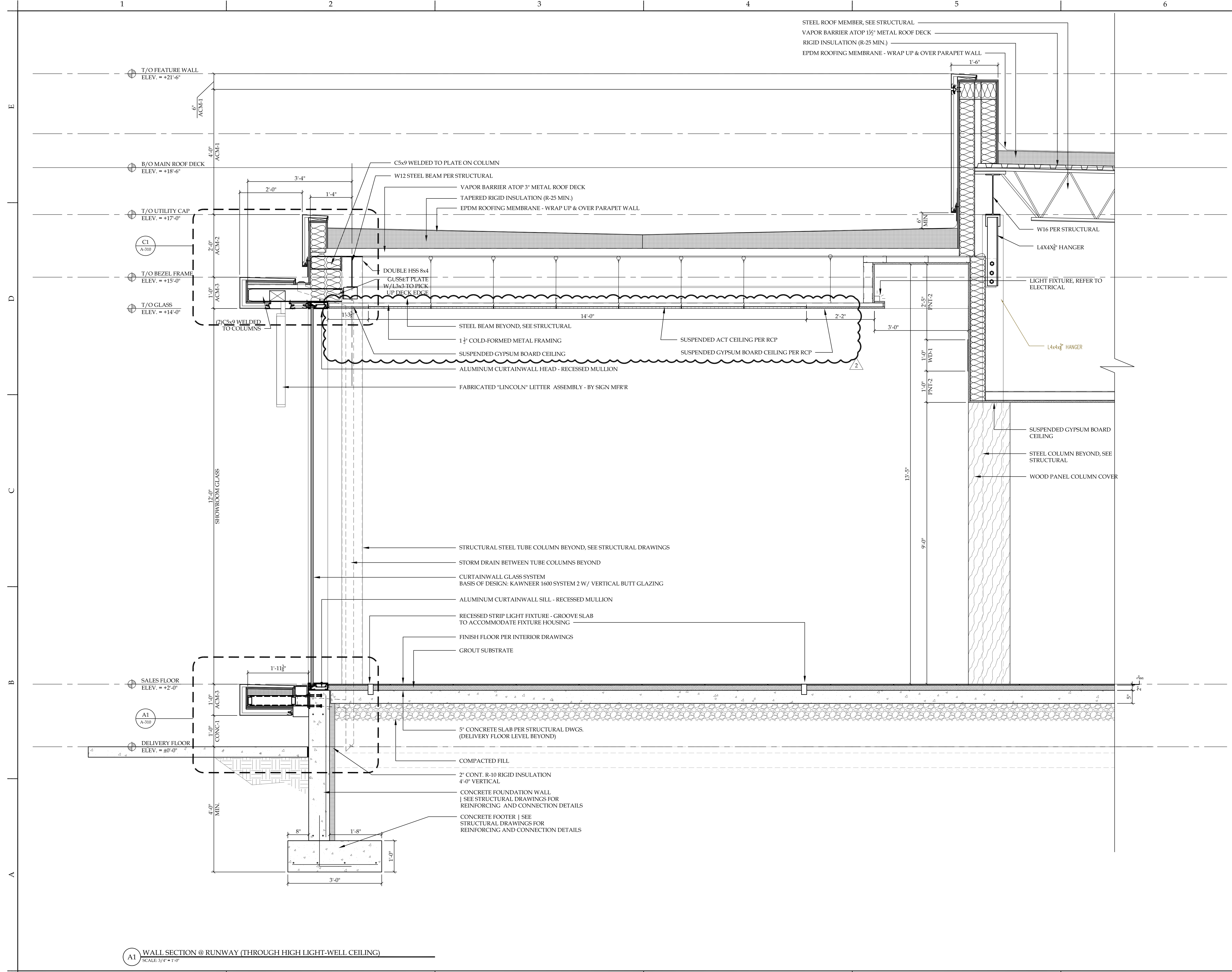
No.	DESCRIPTION	DATE
1	TN. OF AMHERST REVIEW COMMENTS	03/01/21
2	TN. OF AMHERST REVIEW COMMENTS	03/24/21

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A CORPORATION REGISTERED TO PRACTICE PROFESSIONAL ENGINEERING & LAND SURVEYING IN THE STATE OF NEW YORK

SEAL
NUSSBAUMER & CLARKE, INC.
1953
BUFFALO, N.Y.

SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW

PROJECT NUMBER: 20J5-0001
DATE: 11-13-20
DRAWN BY: VBS
DESIGNED BY: VBS
CHECKED BY: MCD/RJP
APPROVED BY: MTM
SCALE: AS NOTED
SHEET No. 15 OF 23



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ISSUE:
 2021-04-15 ISSUED FOR BID & PERMIT
 2021-05-03 ADDENDUM 2 Δ

SA PROJECT TEAM: PRINCIPAL P. Silvestri
 PROJ. ARCH. _____ DRAFTER _____
 JOB CAPT. _____ INTERIORS _____

SEAL:

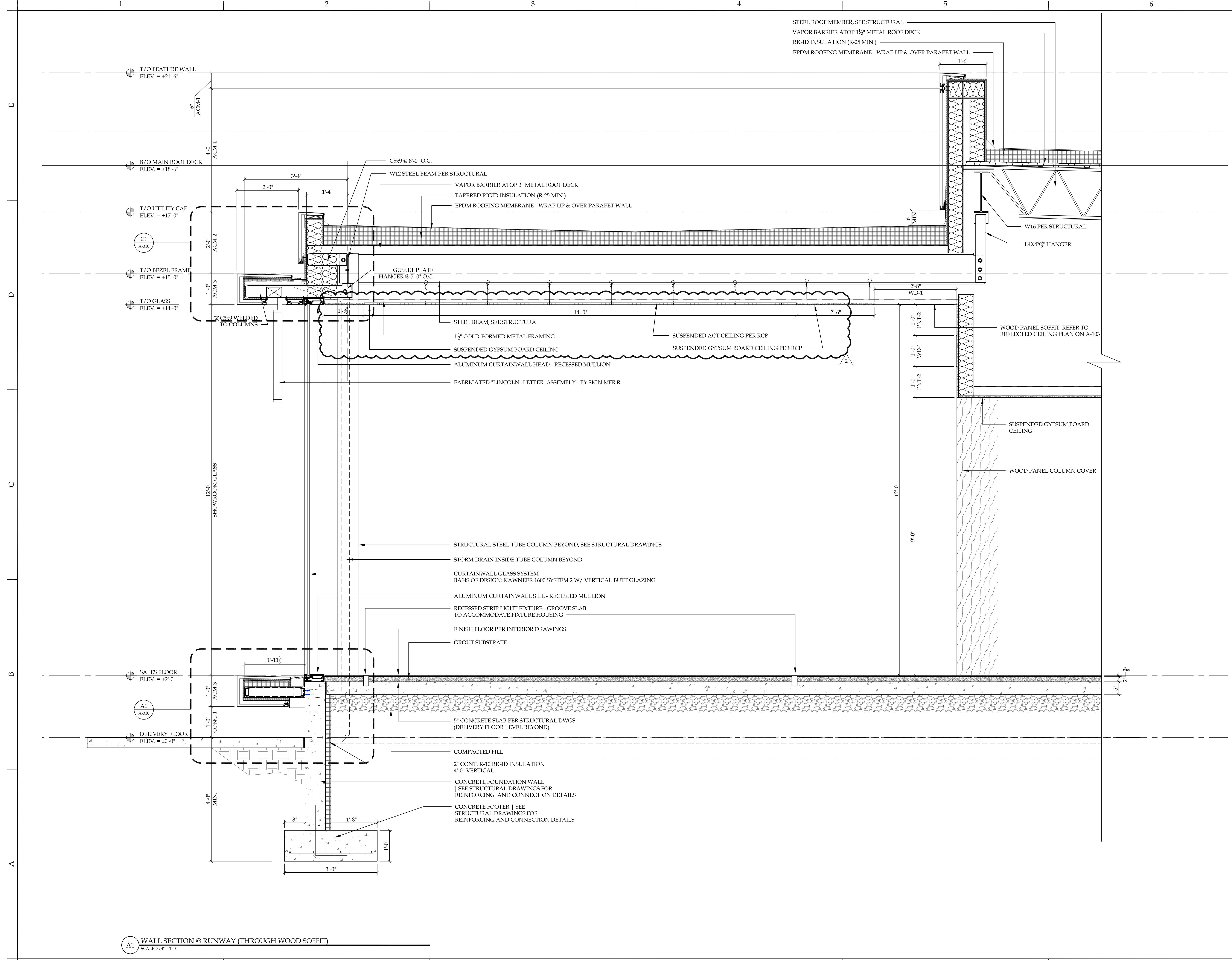
TITLE:
WALL SECTIONS

**SILVESTRI
 ARCHITECTS · PC**
 1321 MILLERSPORT HWY PH. 716.691.0900
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 13003.02 DATE: 04-15-2021

DRAWING #: **A-301**

A1 WALL SECTION @ RUNWAY (THROUGH HIGH LIGHT-WELL CEILING)
 SCALE: 3/4" = 1'-0"



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ISSUE:
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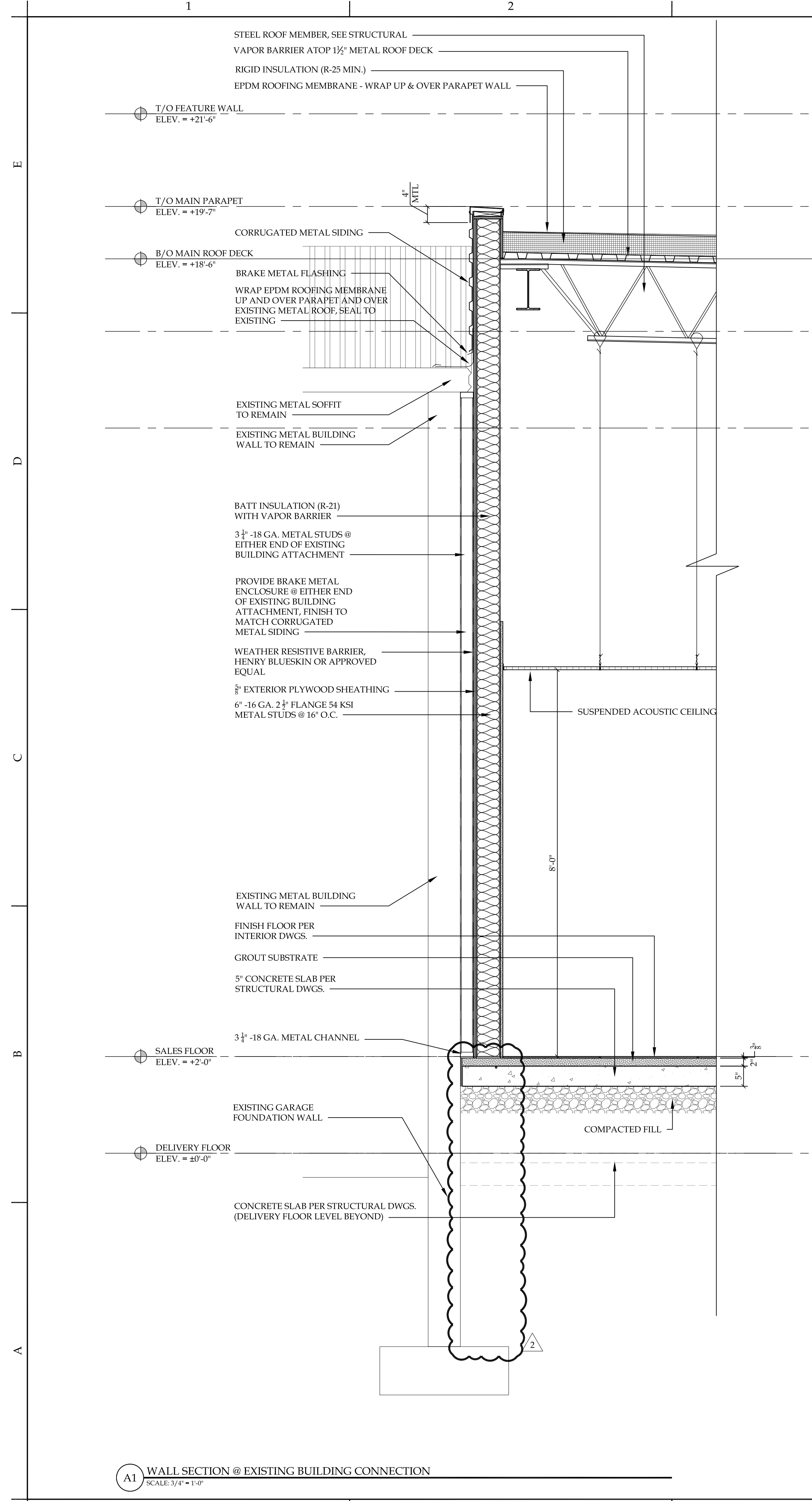
TITLE:
WALL SECTIONS

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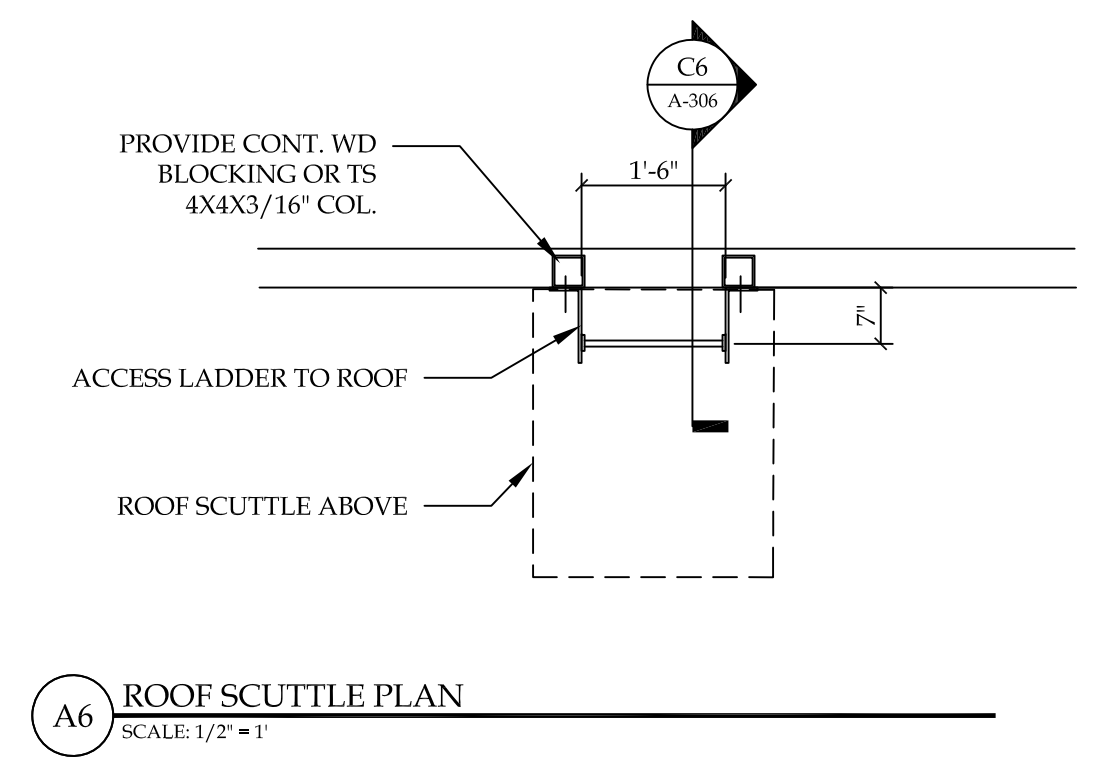
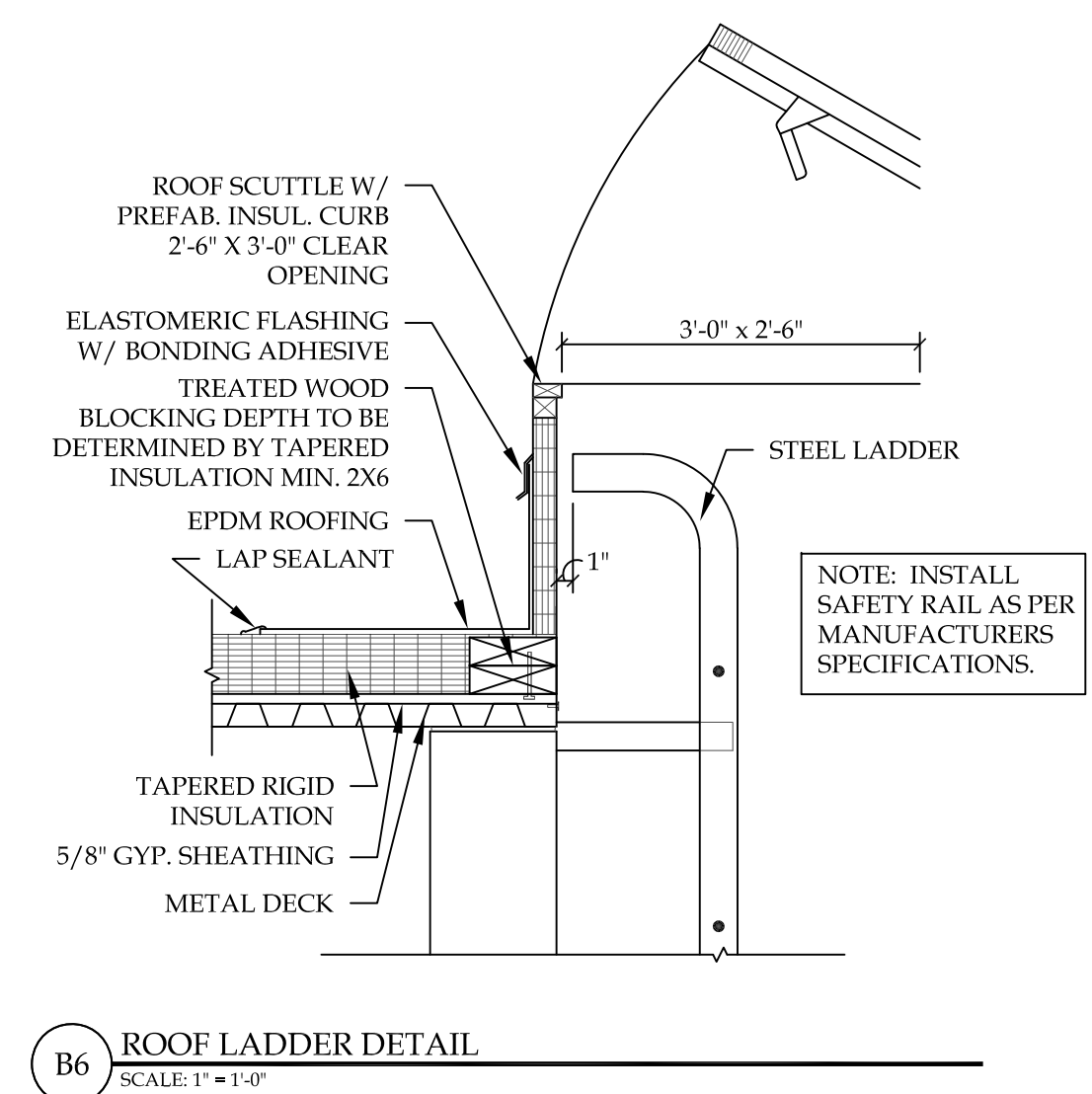
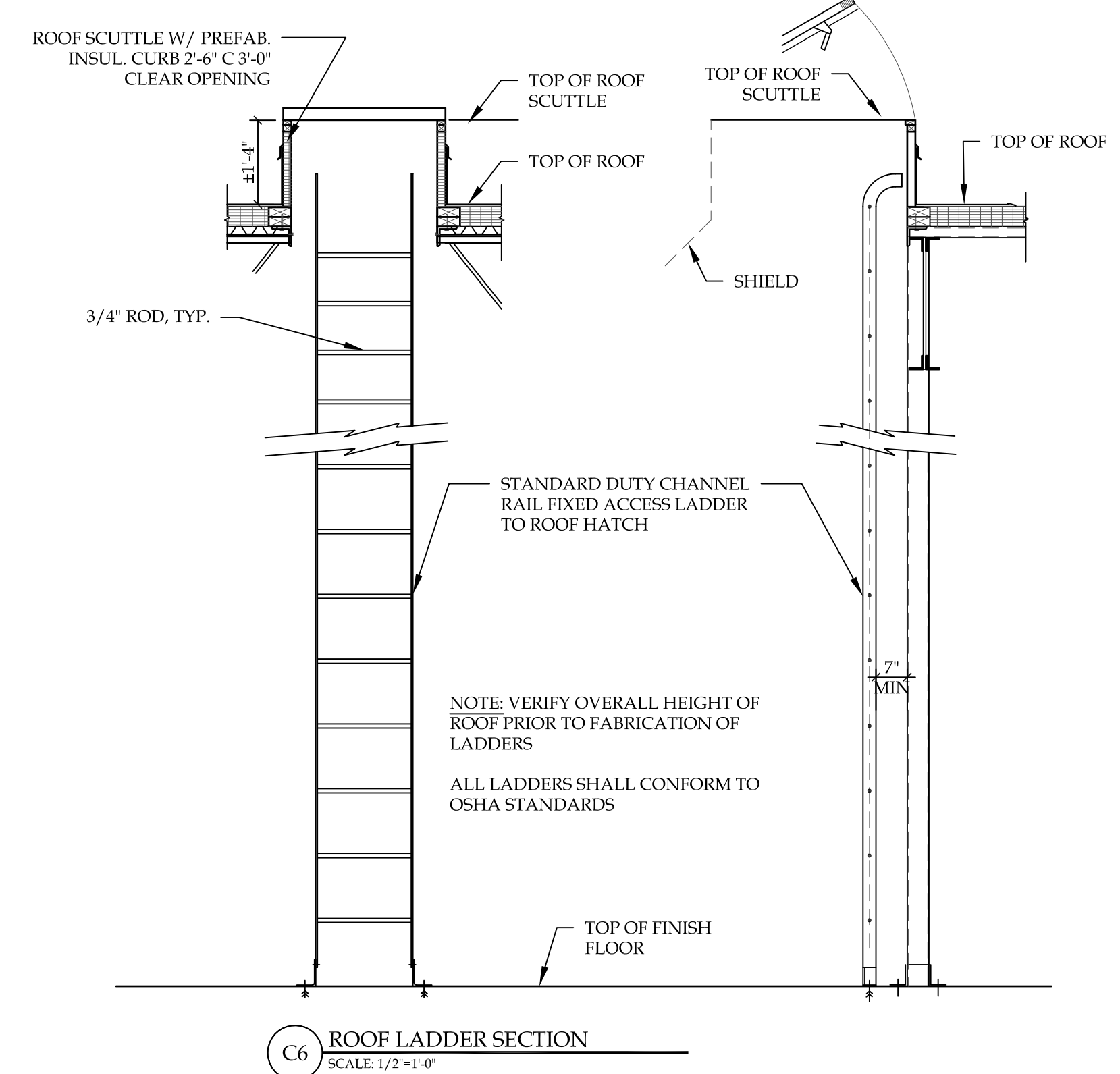
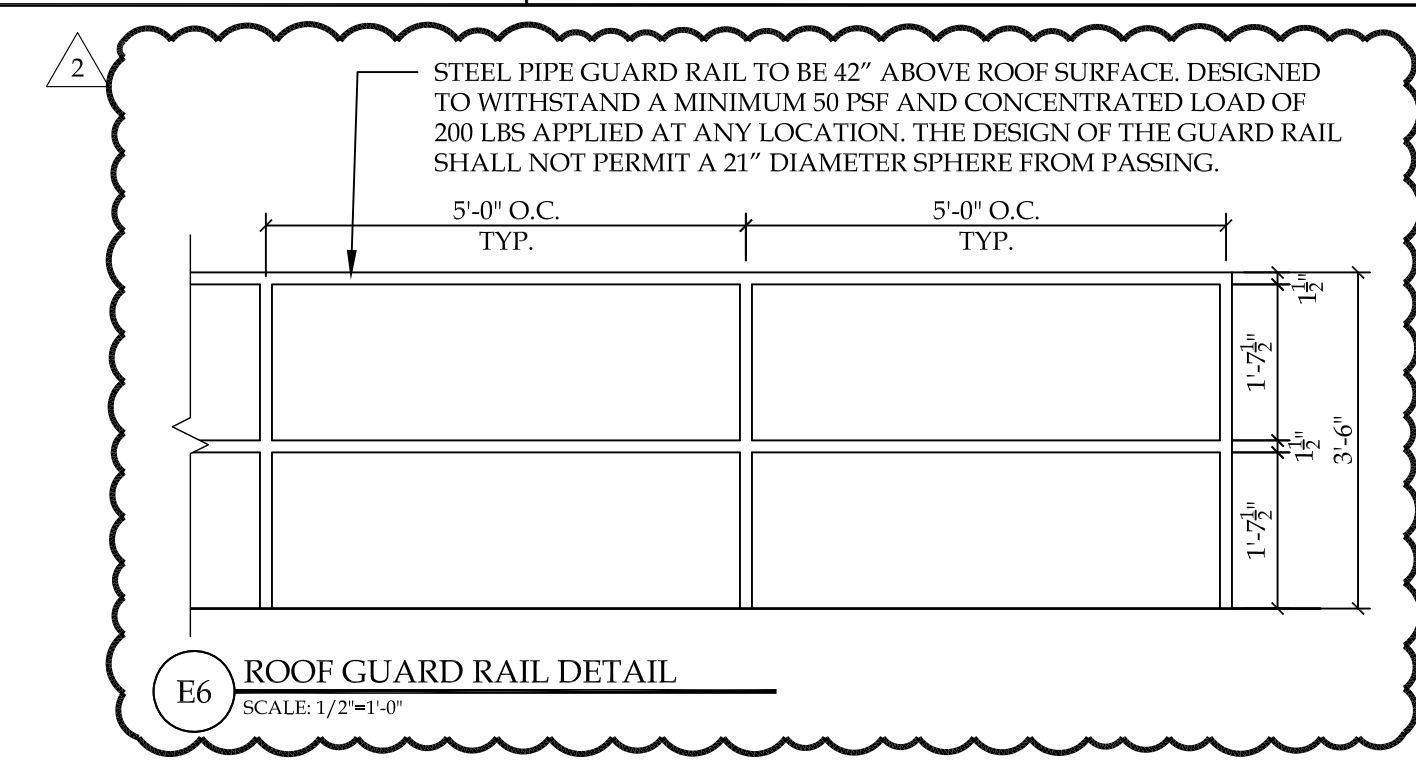
SA JOB #: 13003.02 DATE: 04-15-2021

DRAWING #: **A-302**

A1 WALL SECTION @ RUNWAY (THROUGH WOOD SOFFIT)
 SCALE: 3/4" = 1'-0"



A1 WALL SECTION @ EXISTING BUILDING CONNECTION
 SCALE: 3/4" = 1'-0"



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 2021-05-03 ADDENDUM 2

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 JOB CAPT. _____ INTERIORS _____

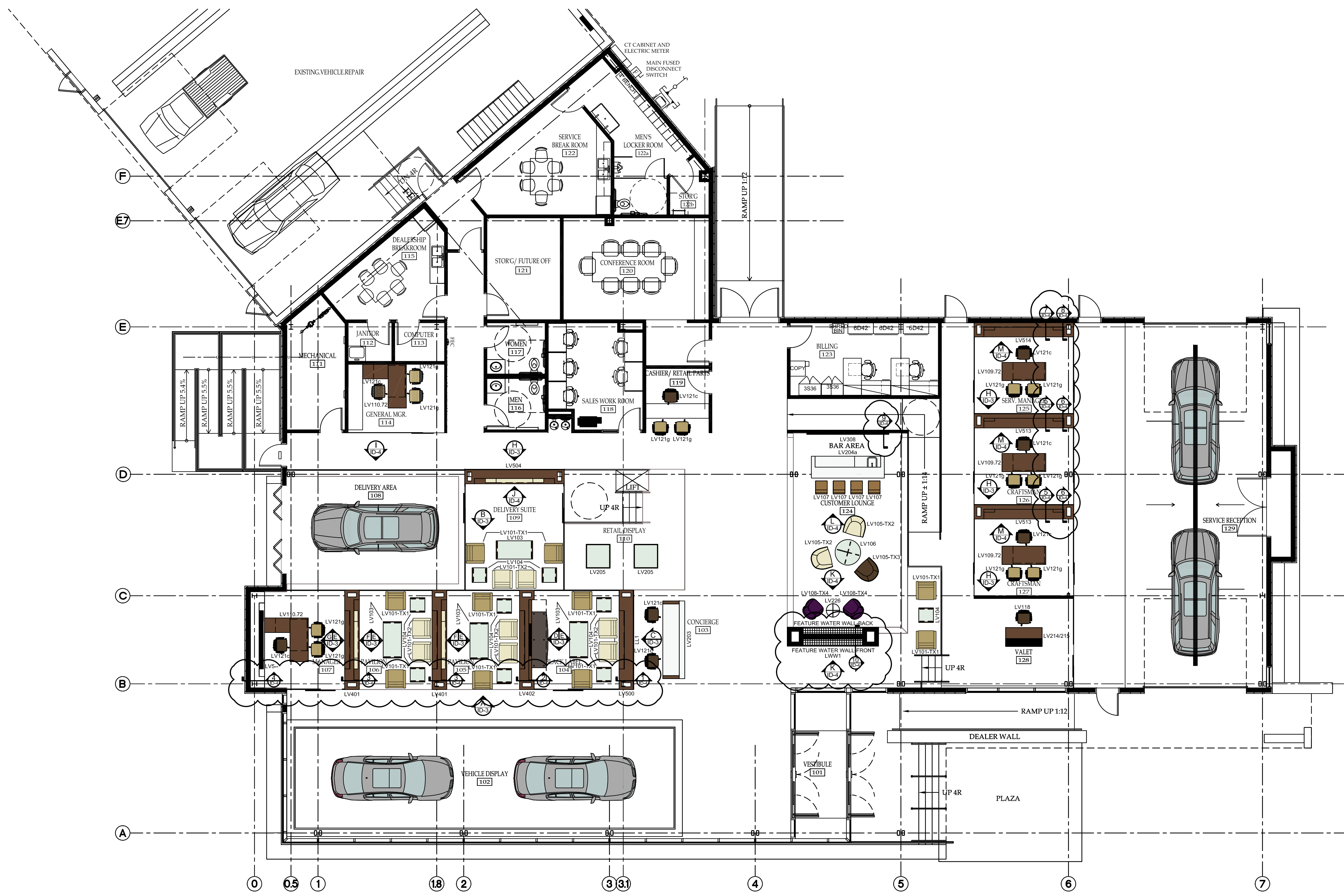
SEAL:
 TITLE:
WALL SECTIONS

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 ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 13003.02
 DATE: 04-15-2021

DRAWING #: **A-306**



WEST HERR Lincoln
 2601 Millersport Highway
 Amherst, New York 14225
 INTERIOR RENOVATIONS

SILVESTRI ARCHITECTS PC
 1321 MILLERSPORT HIGHWAY
 AMHERST, NEW YORK 14221
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ARCHITECT OF RECORD

STEPHAN DESIGN
 ASSOCIATES INC
 Commercial Interior Design
 1092 Center Street
 East Aurora, N.Y. 14052
 P 716.652.1779 C 716.652.7072
 E stephandesign7@hotmail.com

NEW FURNITURE SCHEDULE

QTY.	ITEM NUMBER	DESCRIPTION	FINISHES
10	LV101-TX1	SLED BASE LOUNGE CHAIR	DESERT VINYL UPHOLSTERY
08	LV101-TX2	SLED BASE LOUNGE CHAIR	GLOVE VINYL UPHOLSTERY
04	LV103.2	RECTANGULAR COFFEE TABLE	GLASS TOP, DARK WALNUT BASE
09	LV104.2	SQUARE SIDE TABLE	GLASS TOP, DARK WALNUT BASE
02	LV105-TX2-2	CURVED LOUNGE CHAIR	GLOVE VINYL UPH., DARK WALNUT
01	LV105-TX3	CURVED LOUNGE CHAIR	CHOCOLATE VINYL, DARK WALNUT
01	LV106.2	42" ROUND LOUNGE TABLE	GLASS TOP, ESPRESSO BASE
04	LV107-TX6	UPHOLSTERED BARSTOOL	BISQUE VINYL, DARK WALNUT BASE
02	LV108-TX4	HIGH BACK LOUNGE CHAIR	AMETHYST UPHOLSTERY
15	LV121g-TX1	EXECUTIVE TASK CHAIR, Glides	DESERT VINYL UPHOLSTERY
08	LV121c-TX3	EXECUTIVE TASK CHAIR, Casters	CHOCOLATE VINYL UPHOLSTERY
03	LV109.72-R	72" STRAIGHT RIGHT DESK	KONA LAMINATE, WHITE & CHROME
02	LV110.72-L	72" L-SHAPE LFT RETURN DESK	KONA LAMINATE, WHITE & CHROME
01	LV226	22" ROUND GLASS SIDE TABLE	GLASS TOP
01	LV118.2-TX3	SERV. ADV. HIGH TASK CHAIR, W/ CASTERS & ADJUST. ARMS	CHOCOLATE VINYL UPHOLSTERY POLISHED ALUMINUM BASE
01	LV117	42" ROUND TABLE	KONA LAM. TOP, CHROME BASE

NEW INTERIOR MILLWORK WALL SYSTEM SCHEDULE

QTY.	ITEM NUMBER	DESCRIPTION	FINISHES
01	LV308	BAR FEATURE WALL	ALPIWOOD
02	LV401	IMAGE AND MONITOR WALL	ALPIWOOD / FWP-1
01	LV402	IMAGE & BLK. LABEL MON. WALL	ALPIWOOD / FWP-1
01	LV401	IMAGE AND MONITOR WALL	ALPIWOOD / FWP-1
01	LV500	GREETER LOGO & IMAGE WALL	ALPIWOOD
01	LV5-	IMAGE WALL-UNFINISHED BACK	ALPIWOOD / FWP-1
01	LV504	MONITOR WALL-FINISHED BACK	ALPIWOOD / FWP-1
02	LV513	CRAFTSMAN OFFICE-FIN'D BACK	ALPIWOOD / FWP-1
01	LV514	CRAFTSMAN OFF.-UNFIN'D BACK	ALPIWOOD / FWP-1

WALL SYSTEM NOTES:
 CONTRACTOR TO PROVIDE A SEPARATE QUOTE FOR ALL ITEMS NOTED ABOVE & AS DETAILED ON ID-3 & ID-4, UNDER "INTERIOR MILLWORK WALLS" ON THE FORM OF BID PROPOSAL.
 THESE ITEMS TO BE BUILT BY A LOCAL MILLWORK CONTRACTOR AND INCLUDE INSTALLATION OF ALL COMPONENTS, INCLUDING WATER WALL PLUMBING. REFER TO DWG.'S ID-3 & ID-4 FOR ELEVATIONS, WALL MILLWORK SECTIONS & DETAILS.

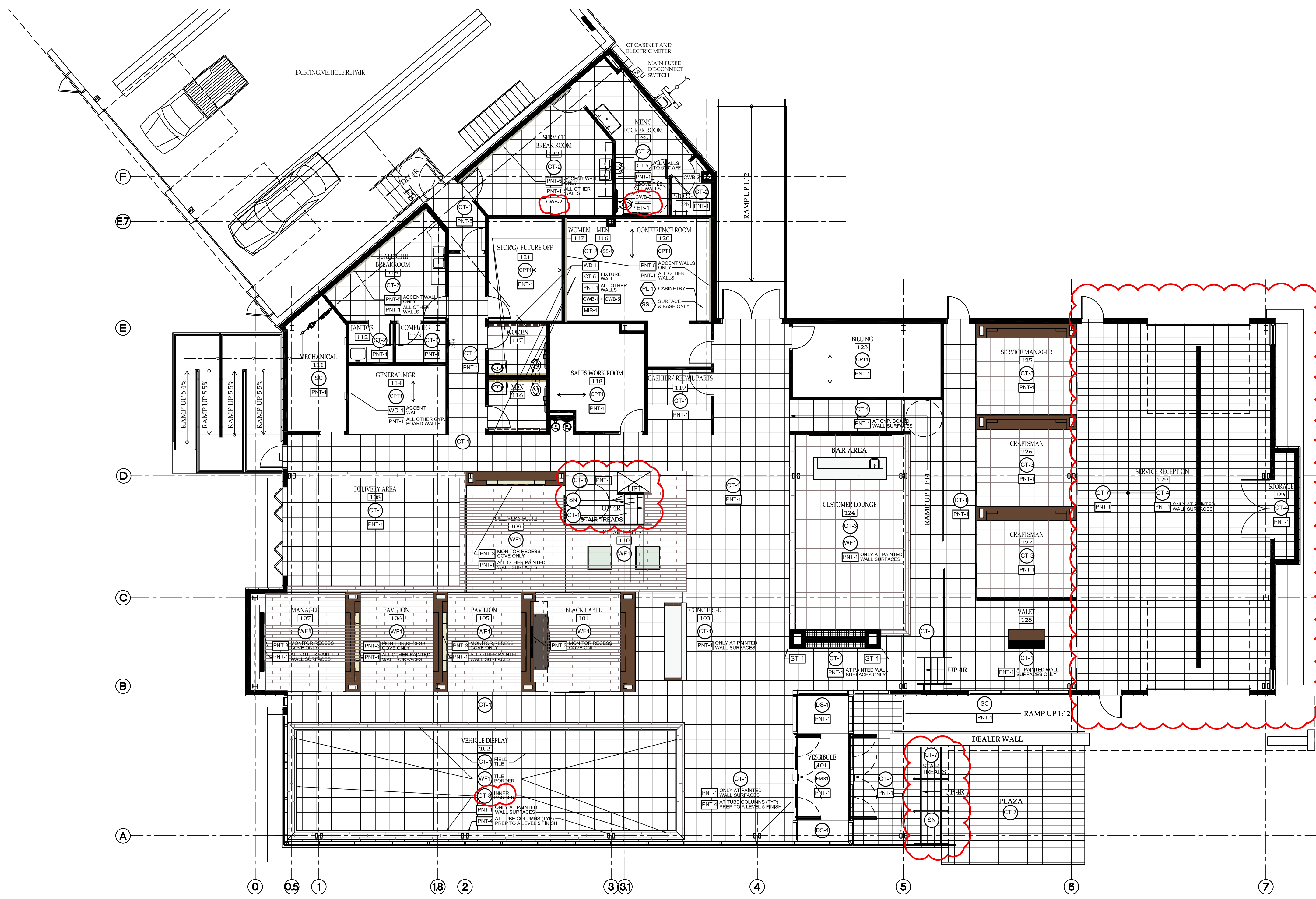
NEW INTERIOR SIGNAGE SCHEDULE

QTY.	ITEM NUMBER	DESCRIPTION	FINISHES
01	LLI	51" LINCOLN LOGO	ALUMINUM
02	LWW1	12" "LINCOLN" WATERFALL LETTERS	PIN-MOUNTED METAL

APRIL 27, 2021
 2021-05-03 ADDENDUM 2

DRAWING REVISION DATES

ID-1
 EQUIPMENT PLAN WITH
 BRANDING REQUIREMENTS
 BID & PERMIT SET
 DRAWN BY: LTS
 SCALE: 1/8" = 1'-0"
 DATE: APRIL 15, 2021



FINISH NOTES

- BEFORE STARTING WORK, PREPARE AND SUBMIT ALL SAMPLES REQUIRED.
- SUBMIT TWO SAMPLES OF WOOD FINISHES FOR APPROVAL. PREPARE ACTUAL WOOD MATERIALS TO WHICH FINISHES WILL BE APPLIED IN FINISHED WOOD WORK. SAMPLES SHALL HAVE STEPPED BACK COATING TO SHOW STAIN AND FINISH COAT.
- APPROVED MANUFACTURERS STANDARD SPECIFICATIONS AND RECOMMENDATIONS FOR PREPARATION AND APPLICATION OF THEIR PRODUCTS ARE HEREBY MADE A PART OF THIS CONTRACT AND SHALL BE ADHERED TO IN ALL CASES.
- PROTECT ALL ADJACENT WORK BY SUITABLE COVERING DURING WORK PROGRESS.
- PREPARATION OF FLOOR SURFACES:
 - CONTRACTOR SHALL PROPERLY REPAIR, AND PATCH AS REQUIRED, EXISTING FLOOR SURFACES TO A SMOOTH AND LEVEL FINISH, WITH FLASH PATCHING AS REQUIRED, READY TO RECEIVE FINISH FLOORING.
- BEFORE STARTING ANY WORK, SURFACES TO RECEIVE PAINT AND WALLCOVERING FINISHES SHALL BE EXAMINED CAREFULLY FOR DEFECTS. WORK SHALL NOT PROCEED UNTIL SUCH DEFECTS ARE CORRECTED BY THE CONTRACTOR.
- PREPARATION OF SURFACES TO RECEIVE PAINT OR WALLCOVERING:
 - SURFACES SHALL BE CLEAN, DRY AND PROTECTED FROM DAMPNESS.
 - SURFACES SHALL BE SMOOTH, EVEN, TRUE TO PLANE AND FREE OF ANY FOREIGN MATTER.
 - SANDPAPER WOOD TO A SMOOTH AND EVEN SURFACE, THEN DUST OFF.
 - AFTER PRIMING COAT HAS DRIED, PUTTY ALL NAIL HOLES & CRACKS, OPEN JOINTS AND OTHER DEFECTS ARE TO BE CORRECTED BY THE CONTRACTOR.
 - FILL ALL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH, LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF THE PAPER.
 - PAINTING OR OTHER FINISHING SHALL NOT BE DONE UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK, AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- ALL PAINTS, PASTE FILLERS, AND SIMILAR MATERIALS SHALL BE DELIVERED IN ORIGINAL CONTAINERS, WITH THE SEALS UNBROKEN AND LABELS INTACT, AND WITH THE MANUFACTURER'S INSTRUCTIONS PRINTED THEREON.
- WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, A WHOLE WALL SHALL BE REFINISHED RATHER THAN SPOT FINISHING WHERE A PORTION OF FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN, AND WITHOUT OVERLAP.
- TRIM FABRIC AT CEILINGS, FLOORS, DOORS, AND WINDOW FRAMES WITH SHARP KNIFE. LINE AT CUT EDGE SHALL BE TRUE, PLUMB OR LEVEL.
- ALL SEAMS SHALL BE CLOSELY AND NEATLY BUTTED. SEAMS MUST BE MADE AT LEAST 4" FROM INSIDE AND OUTSIDE CORNERS TO AVOID CORNER CUTS, HORIZONTAL SEAMS WILL NOT BE ACCEPTABLE, UNLESS OTHERWISE SPECIFIED.
- ALL AIR BUBBLES MUST BE ELIMINATED AND THERE MUST BE A FIRM BOND OF MATERIAL TO THE UNDERLYING SURFACES ON ALL WALL AREAS.
- THOROUGHLY WASH ALL SURFACE ADHESIVE OFF EACH STRIP OF FABRIC AS IT IS INSTALLED.
- REMOVE ADHESIVE OR PAINT SPOTS FROM FLOORS, GLASS OR OTHER SURFACES. LEAVE WORK CLEAN.
- TOUCH-UP AS NECESSARY AFTER ALL OTHER TRADES HAVE FINISHED.

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FINISH SCHEDULE

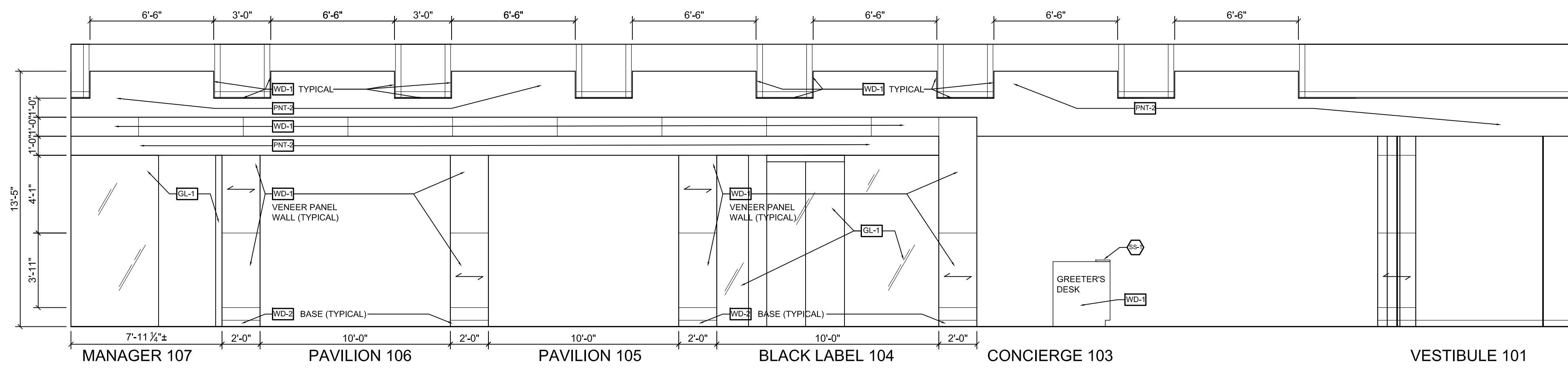
FLOORING FINISHES		WALL FINISHES	
<p>CARPET TILE</p> <p>PT-1 MFR: TANDUM CENTIVA STYLE: RESPONSE, NO: 04704 WITH ETHOS OMNICOAT BACKG COLOR: HICKORY BLEND, NO: 02836 SIZE: 24 X 24" MODULAR TILE INSTALL: ASHLAR PATTERN</p> <p>NOTES: 1. PATTERN GRAIN OF CARPET TILE TO RUN PARALLEL TO ENTRY OF OFFICE OR AREA. DIRECTION NOTED ON PLAN 2. ALL CARPET TILE TO BE GLED DOWN W/ AN ENVIRONMENT-ALLY-SAFE ADHESIVE PER MANUFACTURER'S DIRECTION. 3. TRANSITION BETWEEN CARPET TILE & OTHER FLOORING MATERIALS TO RECEIVE TS-1 SCHLUTER TRANSITION EDGE TO FIT SPECIFIC MATERIALS SIZES, CONTRACTOR TO SIZE. 4. TRANSITION AT DOORWAY. BETWEEN CARPET & OTHER FLOORING MATERIAL. TO BE CENTERED DIRECTLY UNDER CENTER LINE OF DOOR THICKNESS.</p> <p>DECORATIVE STONE</p> <p>DS-1 MFR: LOCAL SUPPLIER STYLE: ROUND WHITE STONES, MATTE FINISH SIZE: 1-3" NATURAL ROUNDS</p> <p>FLOOR MAT - SURFACE MOUNTED</p> <p>MS-1 MFR: CONSTRUCTION SPECIALTIES STYLE: PEDIMATANO FRAME, VINYL ON ALL SIDES COLOR: INSERT; DRY BROWN, NO: 9327 SIZE: 7' X 12' VERIFY IN FIELD</p> <p>STATIC DISSIPATIVE TILE</p> <p>SDT-1 MFR: ARMSTRONG FLOORS STYLE: VINYL COMPOSITION STATIC DISSIPATIVE TILE COLOR: 51951, ARMOR GRAY SIZE: 12" X 12" LOCATION: NOT USED INSTALL: WITH GRAIN RUNNING IN THE SAME DIRECTION</p>	<p>CERAMIC TILE</p> <p>CT-1 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, FM98, GROUT: CBP101 QUARTZ FINISH: POLISHED SIZE: 24 X 24" TILE INSTALL: STACK BONDED AS SHOWN ON FINISH PLAN</p> <p>CT-2 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, FM98, GROUT: CBP101 QUARTZ FINISH: MATTE SIZE: 24 X 24" TILE INSTALL: STACK BONDED AS SHOWN ON FINISH PLAN</p> <p>CT-3 MFR / STYLE: DALTILE / MINERAL COLOR: MONK BRONZE, GROUT: CBP 52 TOBACCO BROWN FINISH: POLISHED SIZE: 24 X 24" TILE INSTALL: STACK BONDED AS SHOWN ON FINISH PLAN</p> <p>CT-4 MFR / STYLE: DALTILE / UNITY COLOR: ASH GREY P405, GROUT: CBP335 WINTER GRAY FINISH: TEXTURED SIZE: 12 X 24" TILE INSTALL: STACK BONDED AS SHOWN ON FINISH PLAN</p> <p>CT-5 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, FM98, GROUT: CBP101 QUARTZ FINISH: POLISHED SIZE: 12 X 24" TILE INSTALL: STACK BONDED AS SHOWN TOILET ROOM ELEV.</p> <p>CT-6 MFR / STYLE: DALTILE / EXHIBITION COLOR: STARK WHITE, EX01, GROUT: CBP382 BONE FINISH: TEXTURED SIZE: 12 X 24" TILE INSTALL: STACK BONDED AS SHOWN ON FINISH PLAN</p> <p>CT-7 MFR / STYLE: DALTILE / OTTIMO CERAMICS LIGHT TILE COLOR: ULTRA WHITE, GROUT: CBP381 BRIGHT WHITE FINISH: POLISHED SIZE: 4" X 24" TILE INSTALL: LINEAR AS SHOWN ON FINISH PLAN</p>	<p>WALL FINISHES</p> <p>FABRIC WRAPPED PANEL</p> <p>FWP-1 FABRIC MFR: INNOVATIONS PATTERN: SIERRA, COLOR NO: SRA-109 MADRE FABRICATOR/LOCAL CONTRACTOR DETAILS: 3/4" THICK / ACOUSTICAL & TACKABLE WALL SYSTEM INSETS @ PAVILIONS, CRAFTSMAN, DELIVERY SUITE & MANAGER'S OFFICE</p> <p>PAINT</p> <p>PNT-1 MFR: PPG COLOR NO: PPG14-20, PURITY FINISH: SATIN / EG-SHEL LOCATION: FIELD</p> <p>PNT-2 MFR: PPG COLOR NO: PPG1001-1, DELICATE WHITE FINISH: FLAT LOCATION: CEILING</p> <p>PNT-3 MFR: PPG COLOR NO: PPG1001-7, BLACK MAGIC FINISH: SATIN / EG-SHEL LOCATION: MONITOR RECESS COVES</p> <p>PNT-4 MFR: PPG COLOR NO: PPG1001-1, DELICATE WHITE FINISH: GLOSS, LEVEL 5 FINISH REQUIRED LOCATION: SHERWIN WILLIAMS 283-05 or SW7603, STCKS & STONES</p> <p>PNT-5 MFR: SHERWIN WILLIAMS COLOR NO: EGGSHHELL (ACCENT WALLS-BACK OF HOUSE) FINISH: EGGSHHELL</p> <p>GLASS TO BE SUPPLIED BY A LOCAL GLASS COMPANY</p> <p>GL-1 MATERIAL: 1/2" TH. CLEAR TEMPERED GLASS LOCATION: OFFICE WALLS</p> <p>GL-2 MATERIAL: 1/2" TH. FROSTED TEMPERED GLASS LOCATION: BLACK LABEL FEATURE WALLS</p> <p>GL-3 MATERIAL: 1/4" TH. BACK PAINTED GLASS, PAINT WHITE LOCATION: BEHIND WD-1 COFFEE BAR FEATURE WALL</p> <p>GL-4 MATERIAL: LAMINATED GLASS, 1/4" TH. EA. SIDE W FROSTED INTERLAYER & CLEAR LINCOLN EMBLEM CUT-OUTS LOCATION: DELIVERY SUITE</p>	<p>CERAMIC WALL BASE TILE</p> <p>CWB-1 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, NO: FM98 FINISH: MATTE, GROUT: CBP 101 QUARTZ SIZE: 4" X 24" BULLNOSE TRIM TILE INSTALL: STACK BONDED AS SHOWN ON T. RM. ELEV. AND AT ALL AREAS RECEIVING CT-1 FLOOR TILE</p> <p>CWB-2 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, NO: FM98 FINISH: MATTE, GROUT: CBP 101 QUARTZ SIZE: 6" X 12" COVE BASE W/ COVE BASE OUTCORNERS INSTALL: AT ALL WALLS IN 112, 113, 115, 122, 122a & 122b</p> <p>CWB-3 MFR / STYLE: DALTILE / FORMULA COLOR: PLANES TAUPE, NO: FM98 FINISH: MATTE, GROUT: CBP 101 QUARTZ SIZE: 4" X 24" FLAT TOP TRIM TILE INSTALL: STACK BONDED AS SHOWN ON T. RM. ELEV.</p> <p>EDGE PROTECTION</p> <p>EP-1 MFR / STYLE: SCHLUTER SYSTEMS / JOLLY SIZE: TO BE DETERMINED BY TILE CONTRACTOR FINISH: PVC, SAND PEBBLE LOCATION: TOP EDGE OF WALL TILE IN LOCKER RM 122a</p> <p>RESILIENT BASE</p> <p>RB-1 MFR / STYLE: JOHNSONITE STRAIGHT RUBBER WALL BASE COLOR: 47, BROWN, BASEWORKS THERMOSET RUBBER HEIGHT: 4H INSTALL: AT ALL AREAS RECEIVING CPT-1 CARPET TILE</p> <p>RB-2 MFR / STYLE: JOHNSONITE COVED RUBBER WALL BASE COLOR: 01, SNOW WHITE, BASEWORKS THERMOSET RUBBER HEIGHT: 4H INSTALL: AT ALL AREAS WITH SEALED CONCRETE FLOOR</p> <p>STONE WALL FACING</p> <p>ST-1 MFR / STYLE: DWYER MARBLE AND STONE / GRANITE COLOR: MARON COHIBA, CONTACT: 1.800.421.6144</p> <p>WOOD PANELING</p> <p>WD-1 MFR / STYLE: ALPI / ALPIWOOD PF AW03 SPECIES: WENGE, CUT: QUARTER FINISH: POLYURETHANE, WAX EFFECT INSTALL: WITH GRAIN IN THE HORIZONTAL DIRECTION</p> <p>WD-2 MFR / STYLE: LOCAL SUPPLIER / SOLID WOOD PANELING SPECIES: WENGE, CUT: QUARTER FINISH: POLYURETHANE, WAX EFFECT, STAIN TO MATCH WD-1 INSTALL: WITH GRAIN IN THE HORIZONTAL DIRECTION</p> <p>WD-3 MFR / STYLE: MODA MFG. / RIFTED ASH WOOD VENEER COLOR: GLOSS FINISH: WITH GRAIN IN THE VERTICAL DIRECTION LOCATION: BLACK LABEL</p> <p>MISCELLANEOUS FINISHES</p> <p>INDICATES MISC. FINISHES AS SHOWN ON THE FINISH PLAN AS FOLLOWS:</p> <p>ACOUSTICAL CEILING</p> <p>AC-1 MFR BY: USC SERIES: MARS CLIMAPLUS HIGH NRC WHITE TILES WITH DOWN FINELINE 1/2" DXFF SUSPENSION SIZE: 24" x 24" FLAT WHITE 050</p> <p>DOORS</p> <p>DR-1 MFR BY: LOCAL WOOD DOOR SUPPLIER SERIES: WOOD DOOR SPECIES: WENGE, QUARTER CUT FINISH: STAIN & FINISH TO MATCH WD-1 WOOD PANELING</p> <p>PLASTIC LAMINATES - HIGH PRESSURE</p> <p>PL-1 MFR BY: NEVAMAR COLOR NO: W20028PV, KONA BLEND LOCATION: BACK OF HOUSE, GENERAL CABINETRY: VERTICAL SURFACES ONLY</p> <p>PL-2 MFR BY: PIONITE COLOR NO: WP110, LOOKS LIKATRE LOCATION: BACK OF HOUSE, GENERAL CABINETRY: VERTICAL SURFACES ACCENT ONLY</p> <p>SOLID SURFACE</p> <p>SS-1 MFR BY: DUPONT CORIAN COLOR: GLACIER WHITE, SEMI-GLOSS FINISH WITH EASED EDGES THICKNESS: 1/2"</p> <p>SS-2 MFR BY: DUPONT CORIAN COLOR: DEEP NOCTURNE, SEMI-GLOSS FINISH WITH EASED EDGES THICKNESS: 1/2"</p> <p>TOILET PARTITIONS</p> <p>TP-1 FLOOR ANCHORED AND OVERHEAD BRACED PARTITIONS COLOR: DEEP NOCTURNE, SEMI-GLOSS FINISH WITH EASED EDGES THICKNESS: 1/2" FINISH: STAINLESS STEEL DETAILS: INCLUDE INTERIOR COAT HOOK AT DOOR</p>

APRIL 27, 2021
 2021-05-03 ADDENDUM 2

DRAWING REVISION DATES

ID-2
 FINISH PLAN & SCHEDULE
 BID & PERMIT SET

DRAWN BY: LTS
 SCALE: 1/8" = 1'-0"
 DATE: APRIL 15, 2021

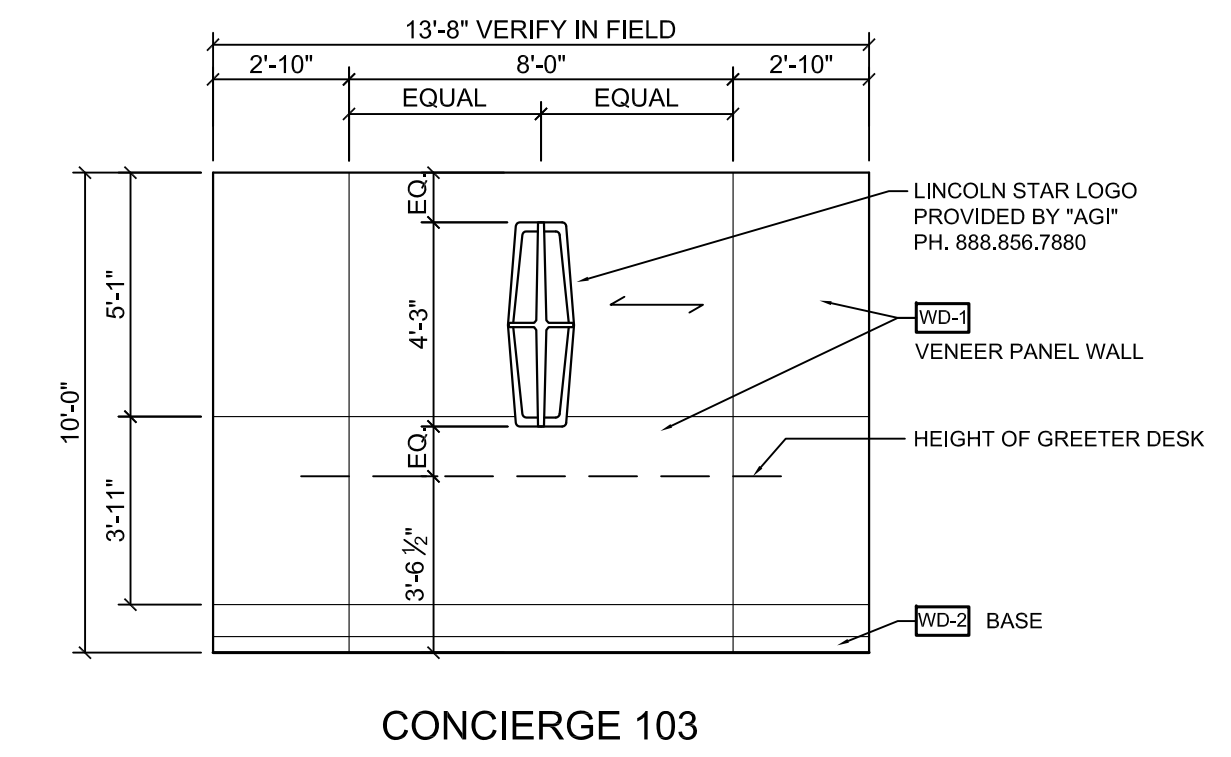


ELEVATION

SCALE: 1/4" = 1'-0"

RUNWAY MANAGER 107- VESTIBULE 101

A

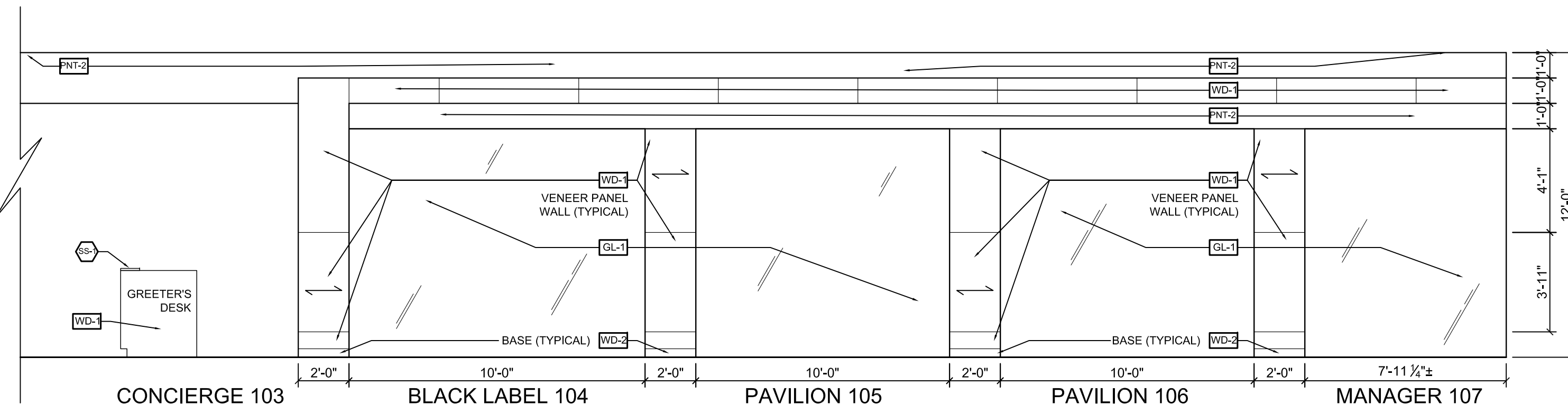


ELEVATION

SCALE: 1/4" = 1'-0"

CONCIERGE 103

C

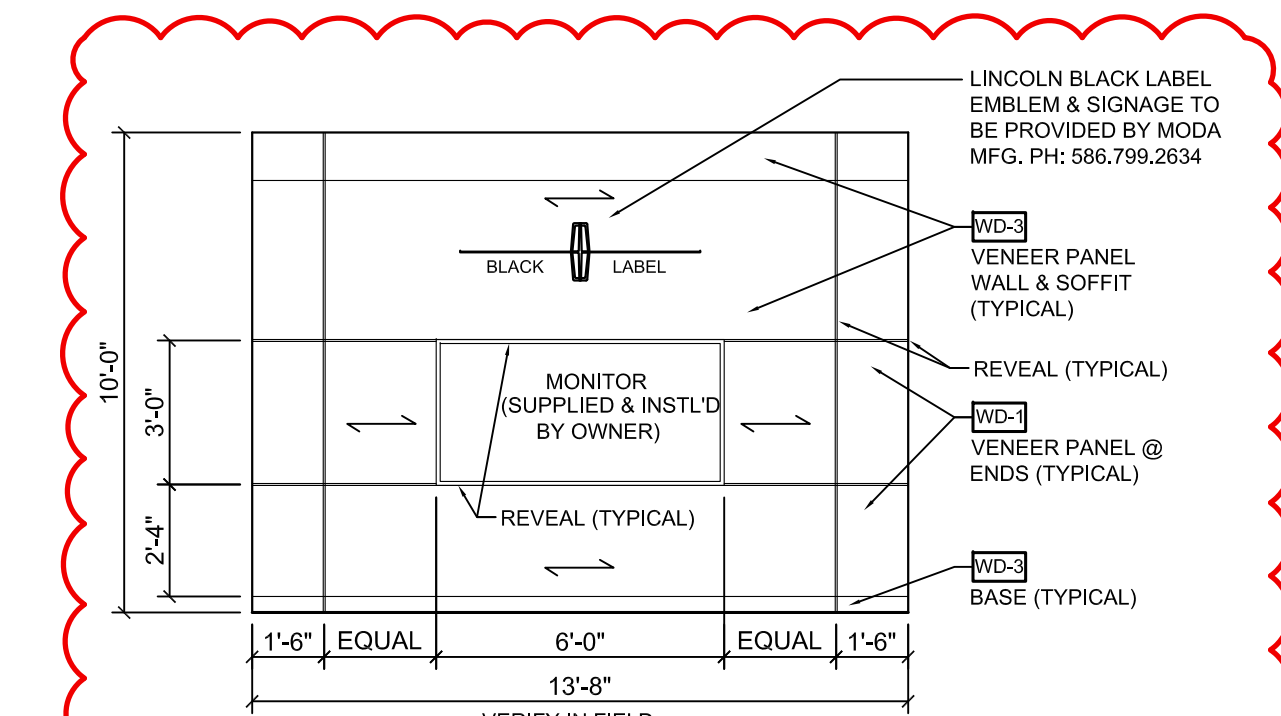


ELEVATION

SCALE: 1/4" = 1'-0"

RUNWAY CONCIERGE 103 - MANAGER 107

B



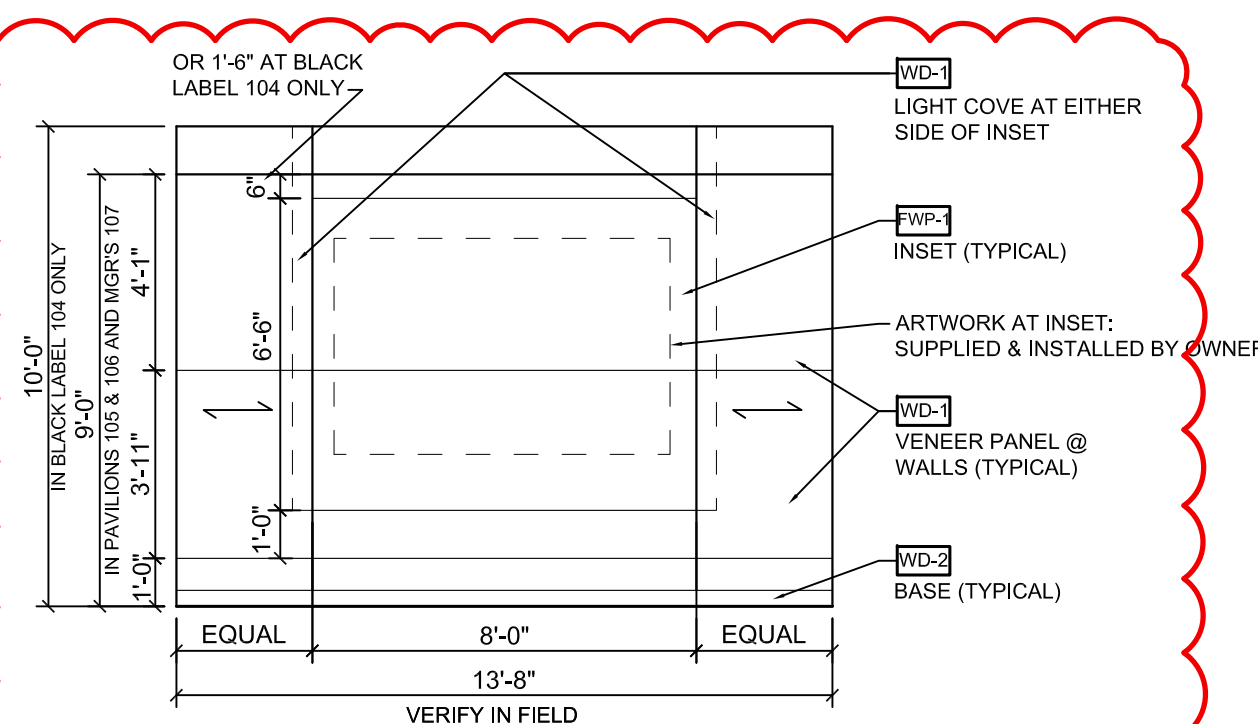
ELEVATION

SCALE: 1/4" = 1'-0"

BLACK LABEL 104

D

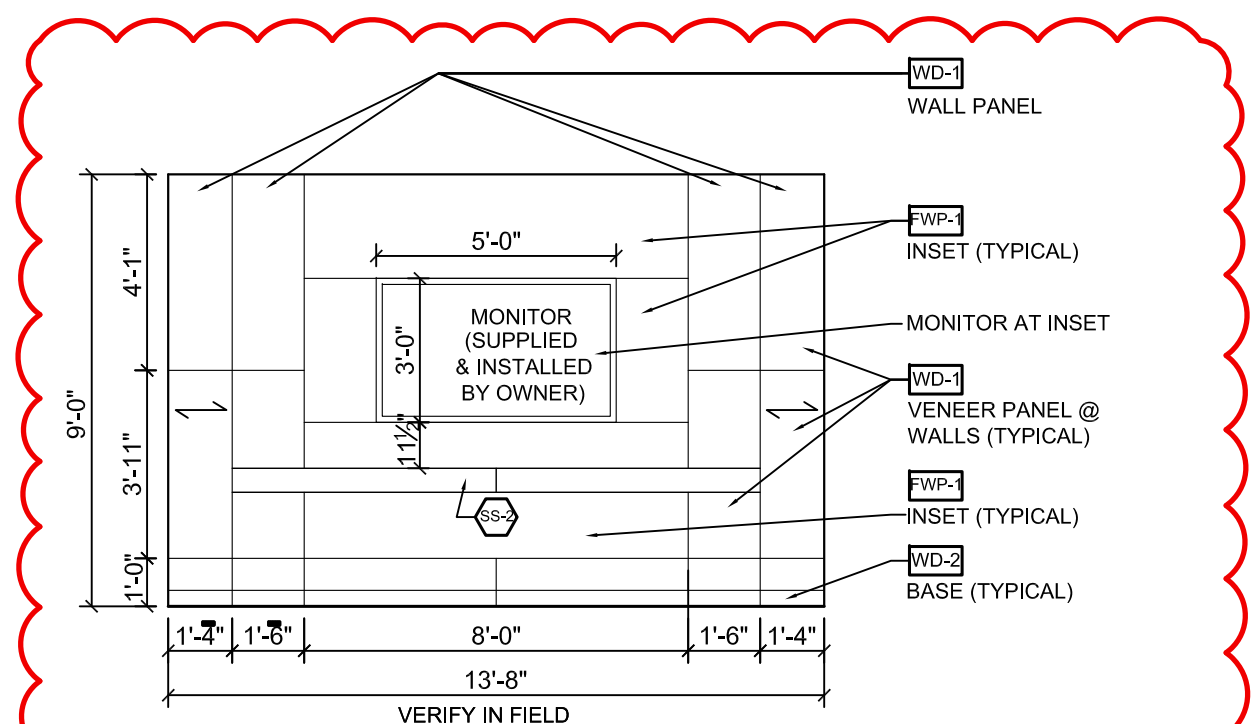
WOOD PANEL NOTES:
 1. COORDINATE ALL WOOD PANEL JOINTS FOR CONSISTENT ALIGNMENT BETWEEN ADJACENT & INTERSECTING PANEL SURFACES.
 2. CREATE A UNIFORM APPEARANCE WITH CONSISTENT & EQUAL-DISTANT JOINT / SEAM LOCATIONS.



ELEVATION BLACK LABEL 104, PAVILIONS 105 & 106

SCALE: 1/4" = 1'-0" MGR. 107 & DEL. SUITE 109

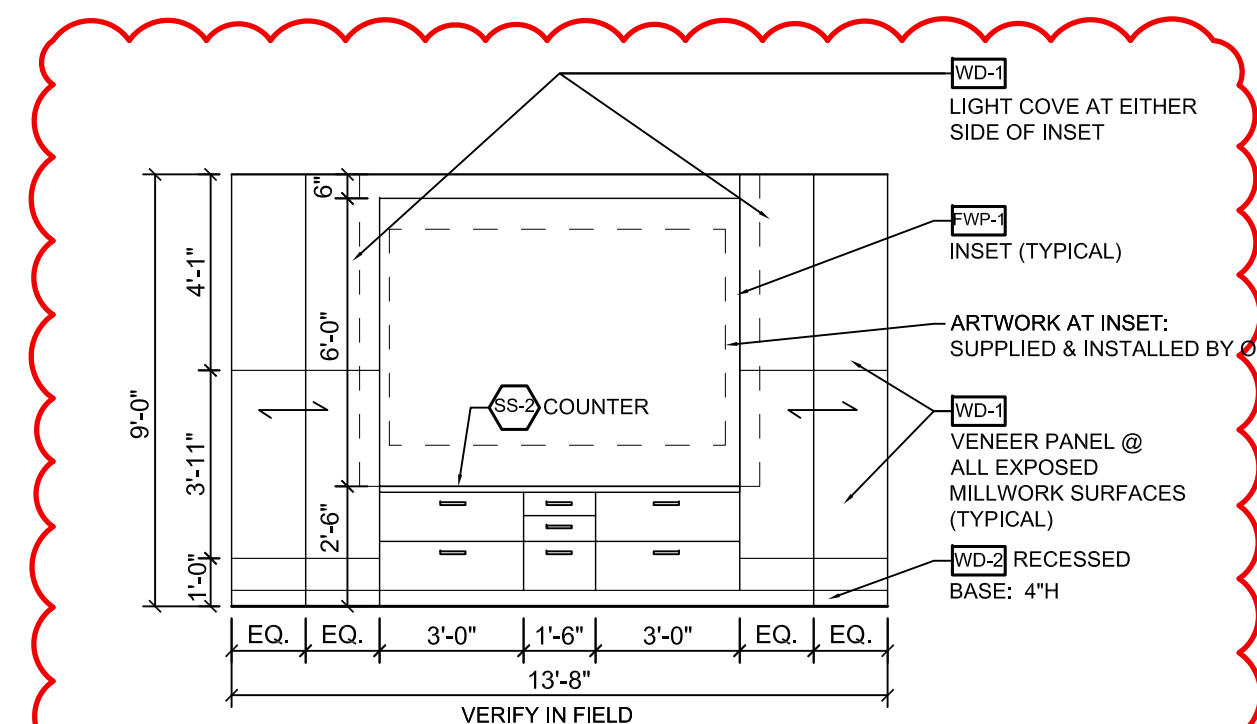
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ELEVATION PAVILION 105 & 106

SCALE: 1/4" = 1'-0"

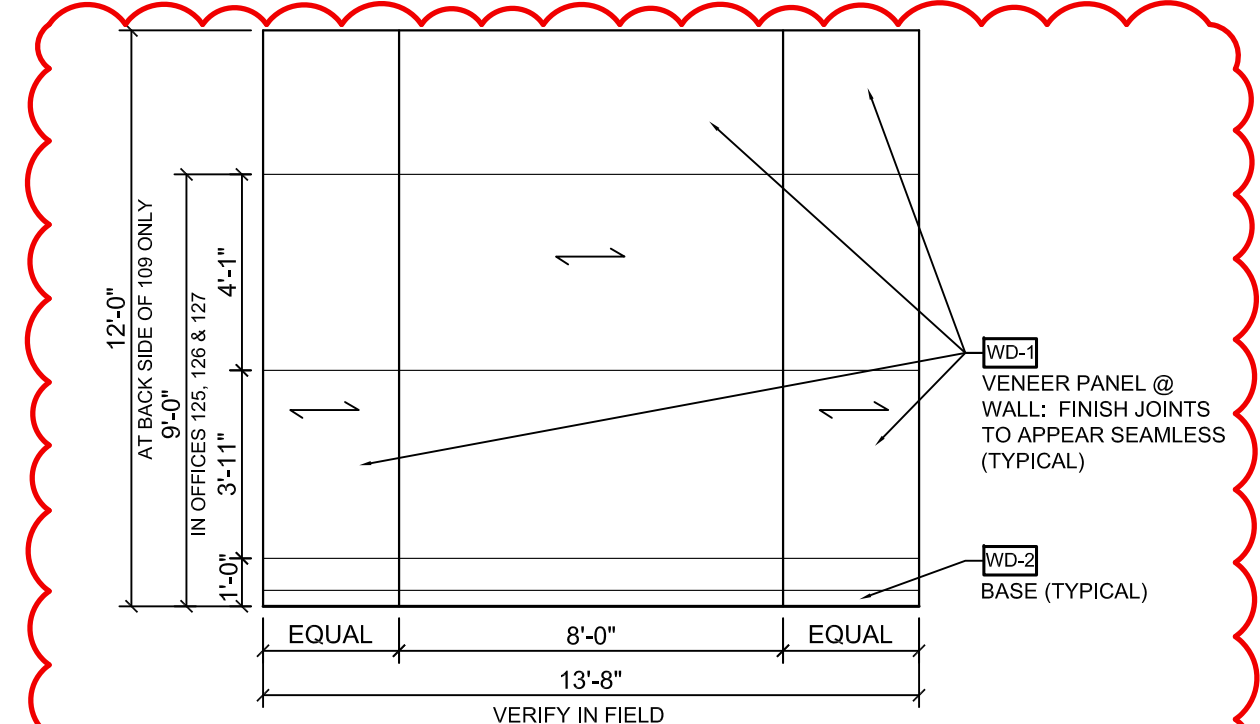
F



ELEVATION MANAGER 107

SCALE: 1/4" = 1'-0"

G



ELEVATION

SCALE: 1/4" = 1'-0"

H

BLACK LABEL 104, PAVILION 105 & 106 AND MANAGER 107

BACK SIDE 109, 125-127

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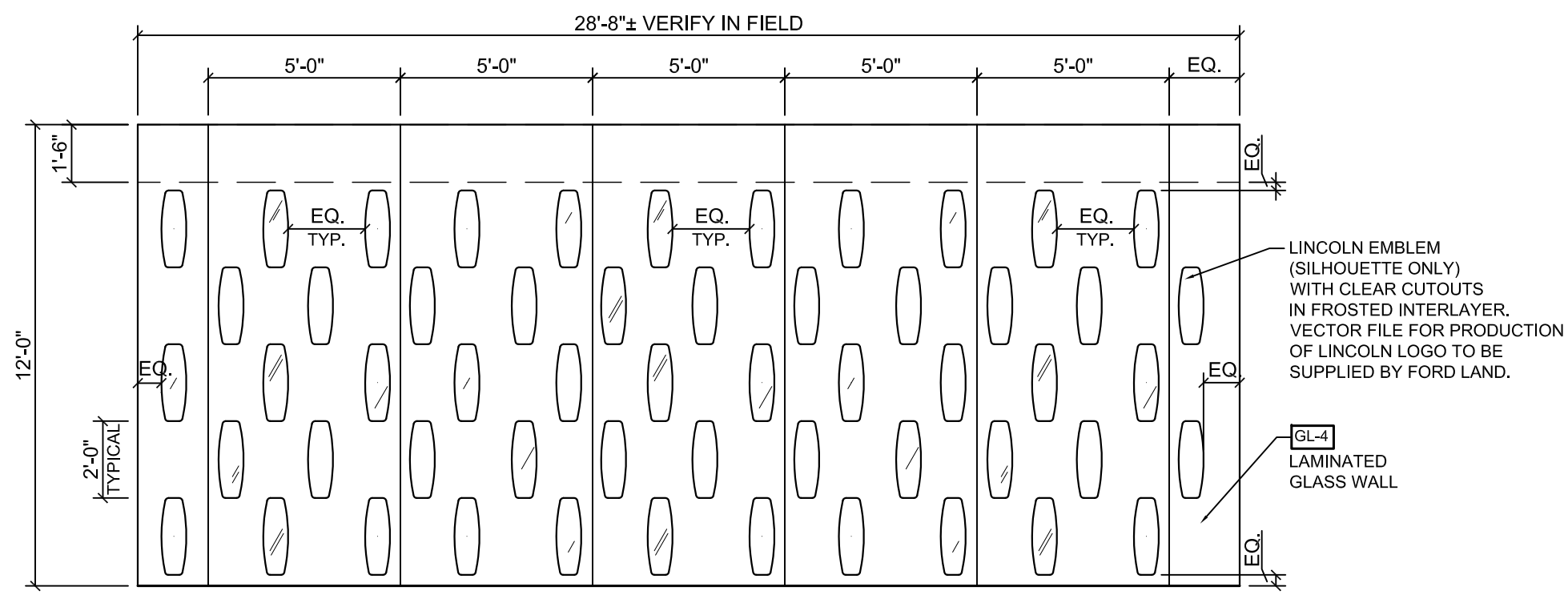
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APRIL 27, 2021
 2021-05-03 ADDENDUM 2

DRAWING REVISION DATES

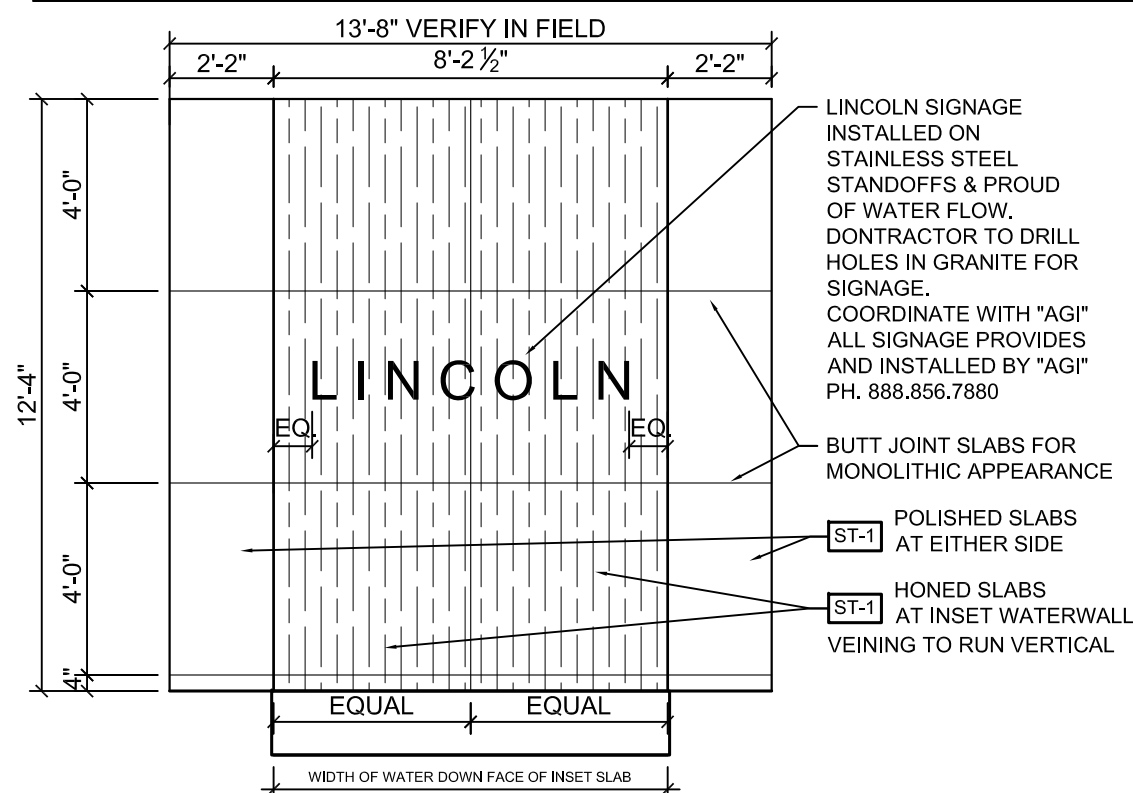
ID-3
 INTERIOR ELEVATIONS/DTLS
 BID & PERMIT SET

DRAWN BY: LTS
 SCALE: AS NOTED
 DATE: APRIL 15, 2021

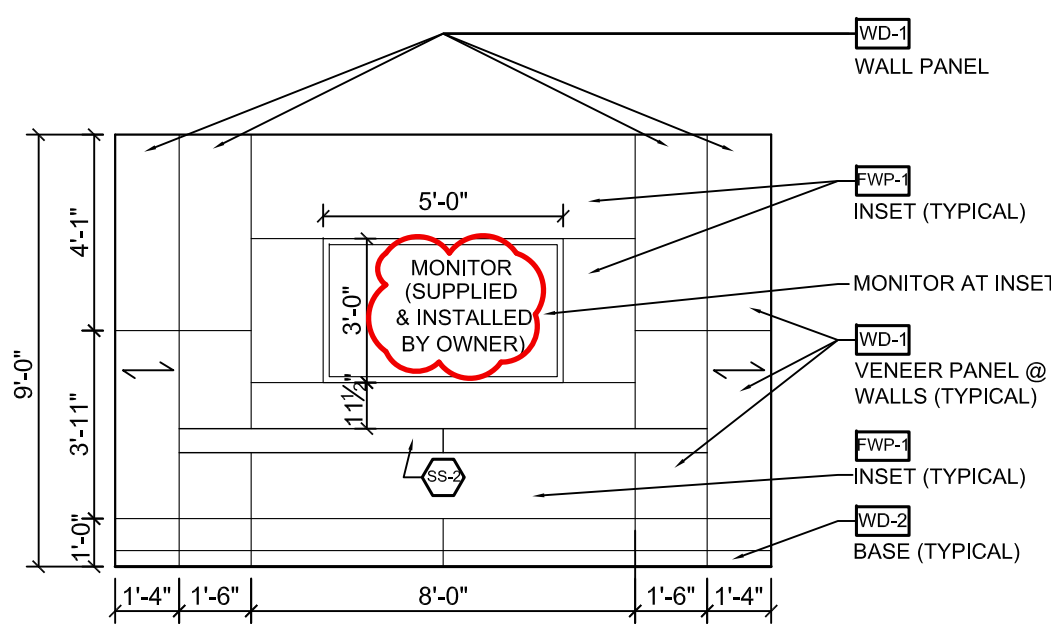


ELEVATION I DELIVERY AREA
SCALE: 1/4" = 1'-0"

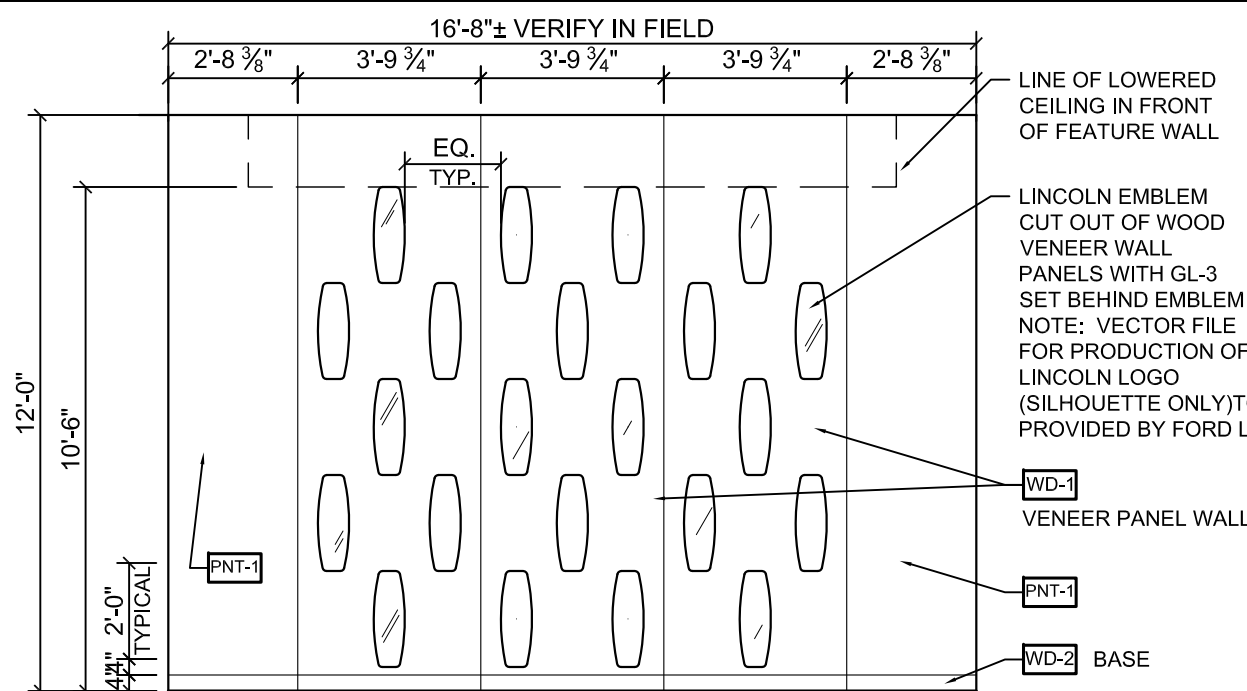
DELIVERY SUITE 108



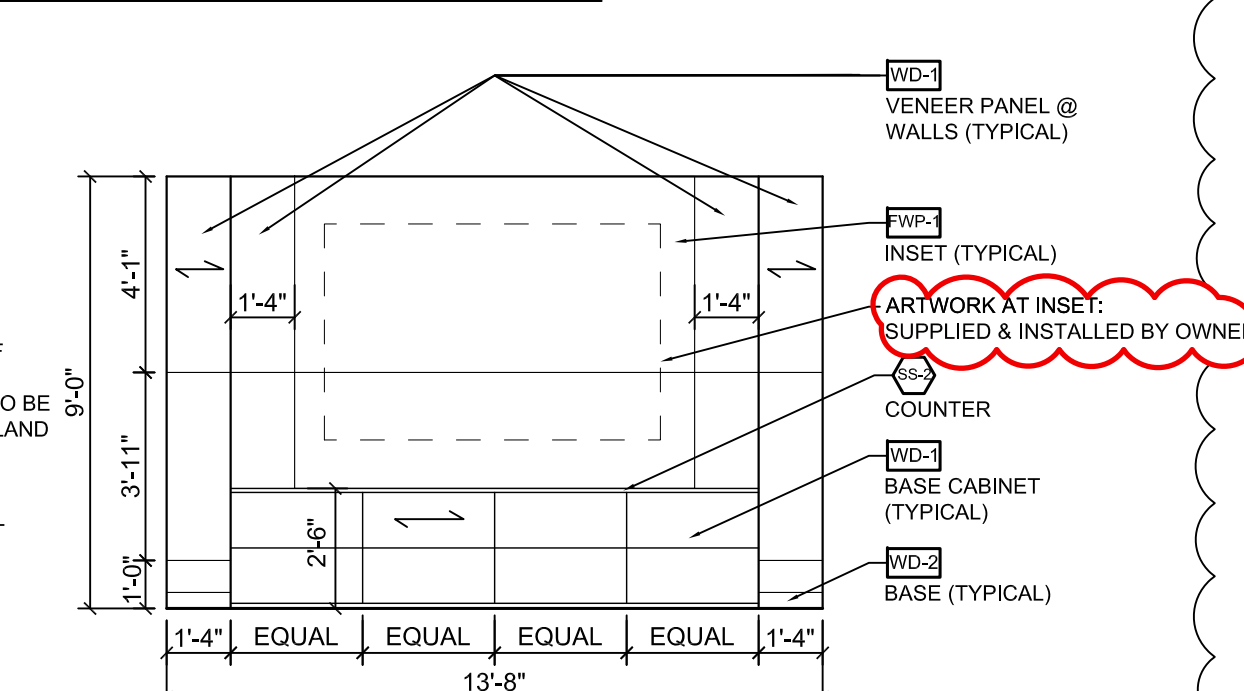
ELEVATION K FEATURE WALL
SCALE: 1/4" = 1'-0"



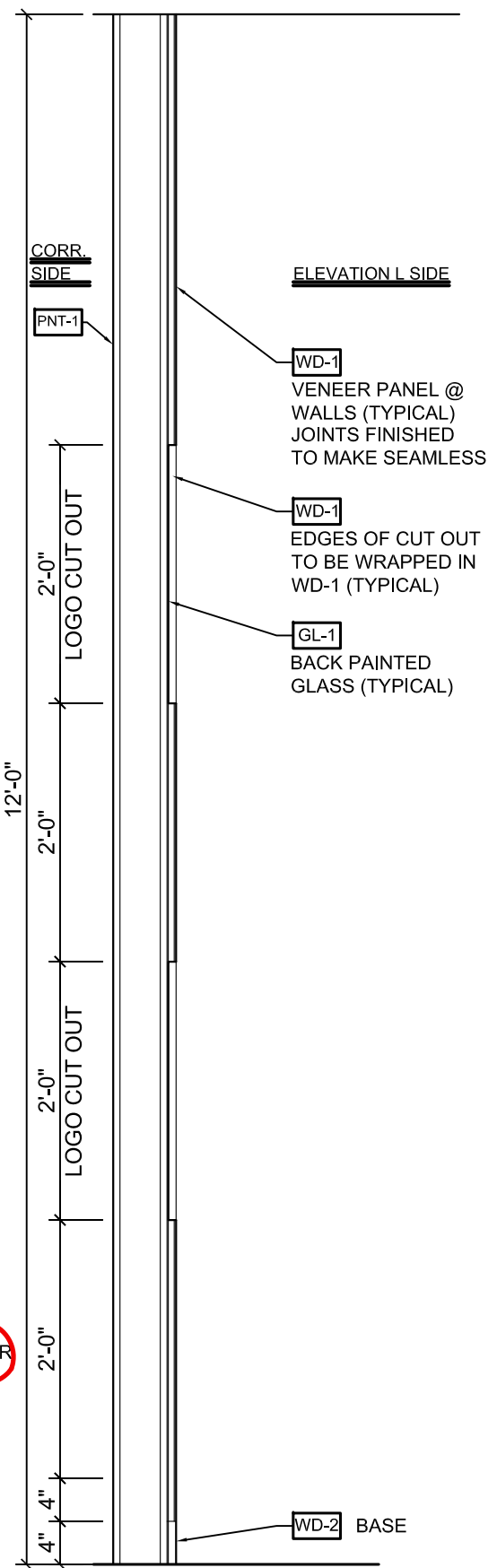
ELEVATION J DELIVERY SUITE 108
SCALE: 1/4" = 1'-0"



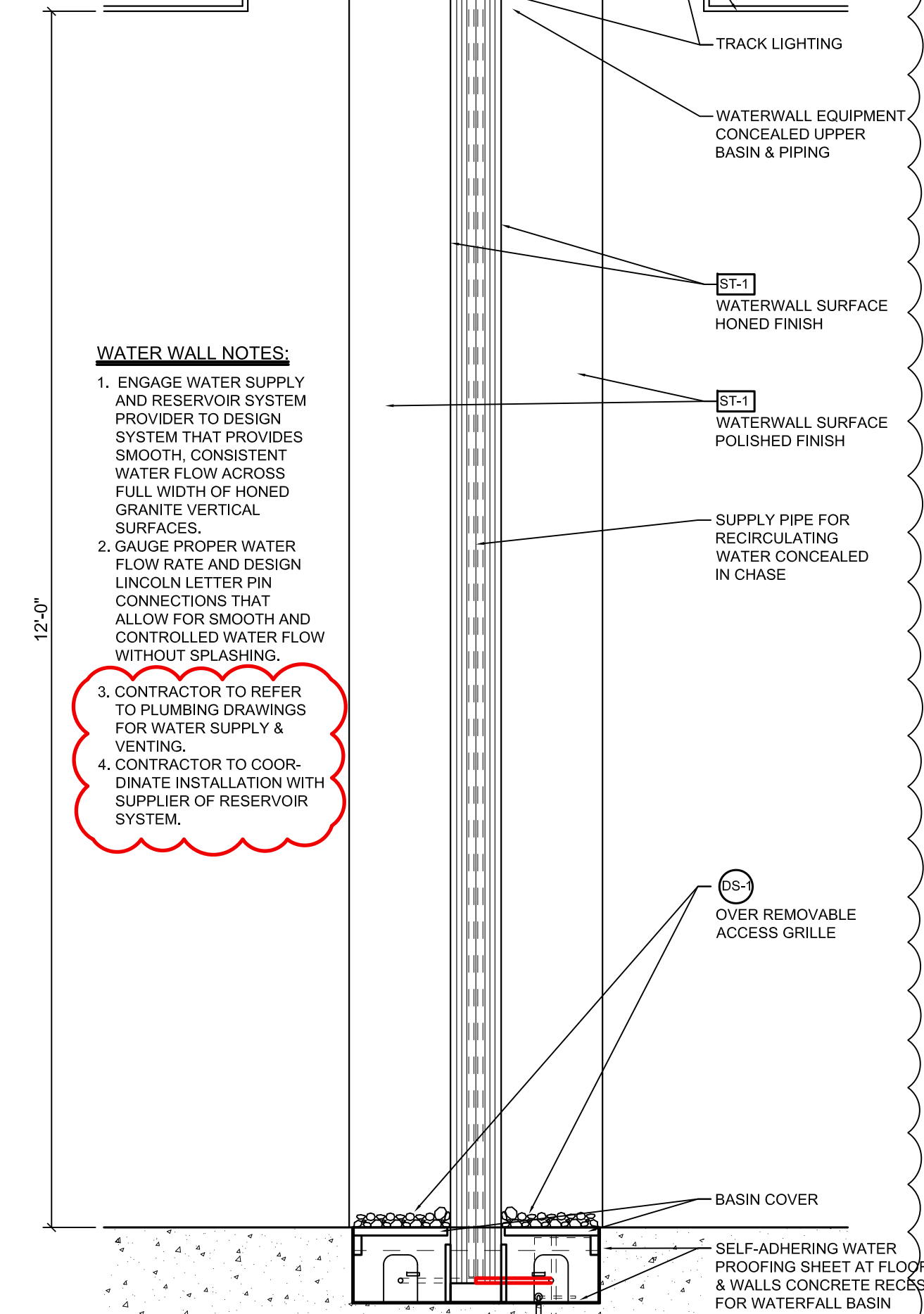
ELEVATION L BAR FEATURE WALL
SCALE: 1/4" = 1'-0"



ELEVATION M SERV. MANAGER 125 & CRAFTSMAN 126 & 127
SCALE: 1/4" = 1'-0"
SERVICE MGR. 125 & CRAFTSMAN 126 & 127



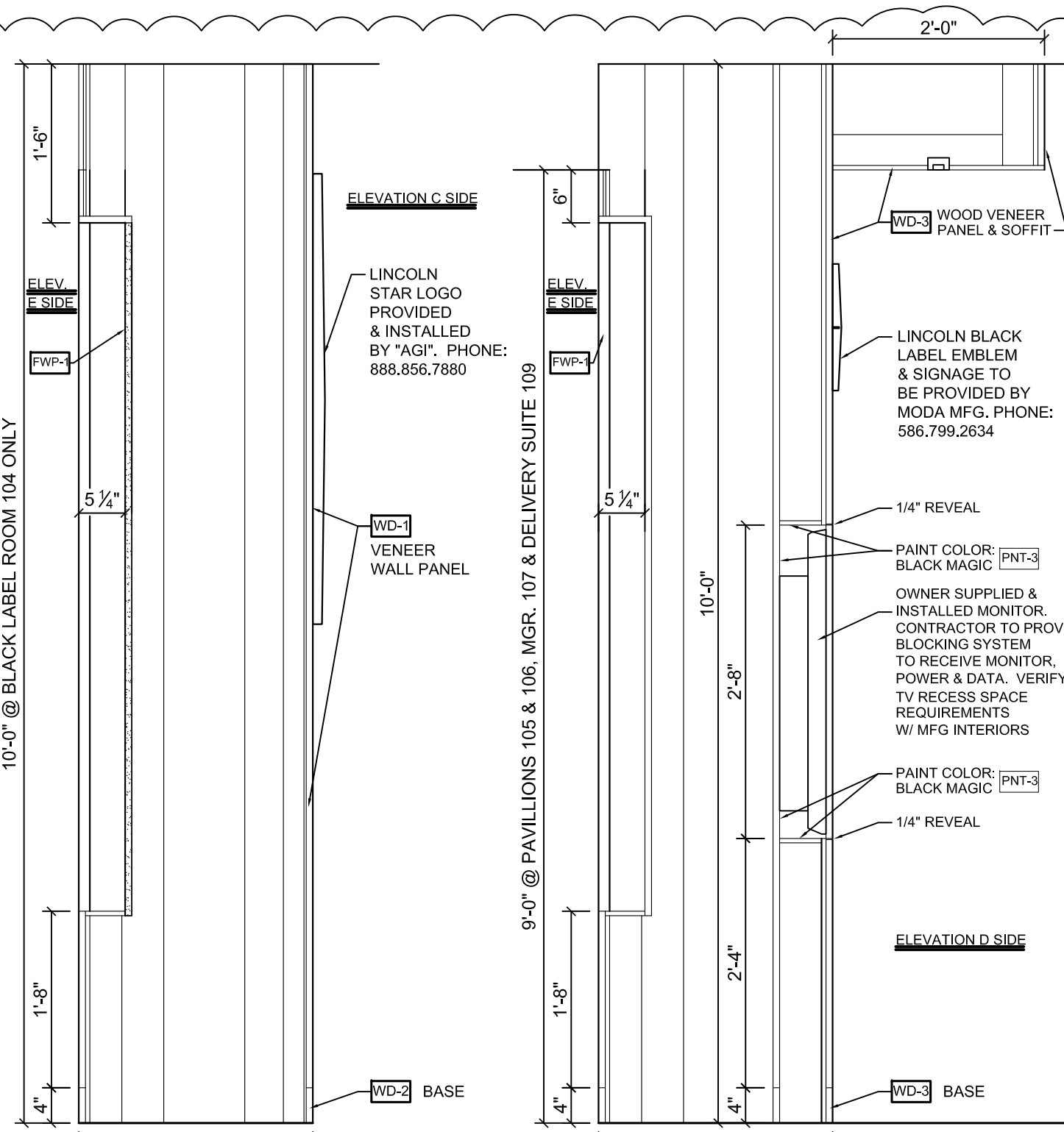
SECTION 9
SCALE: 3/4" = 1'-0"



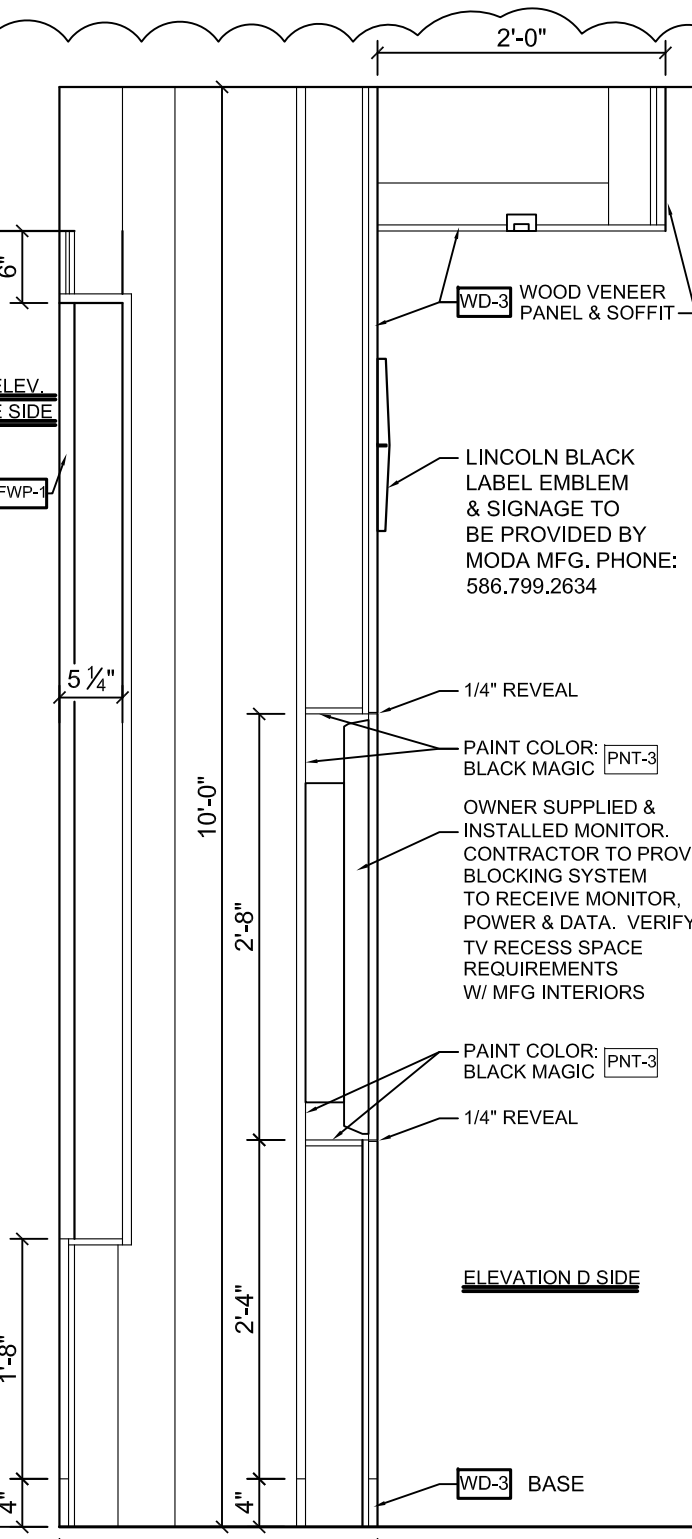
SECTION 10
SCALE: 3/4" = 1'-0"

WATER WALL NOTES:
1. ENGAGE WATER SUPPLY AND RESERVOIR SYSTEM PROVIDER TO DESIGN SYSTEM THAT PROVIDES SMOOTH, CONSISTENT WATER FLOW ACROSS FULL WIDTH OF HONED GRANITE VERTICAL SURFACES.
2. GAUGE PROPER WATER FLOW RATE AND DESIGN LINCOLN LETTER PIN CONNECTIONS THAT ALLOW FOR SMOOTH AND CONTROLLED WATER FLOW WITHOUT SPLASHING.
3. CONTRACTOR TO REFER TO PLUMBING DRAWINGS FOR WATER SUPPLY & VENTING.
4. CONTRACTOR TO COORDINATE INSTALLATION WITH SUPPLIER OF RESERVOIR SYSTEM.

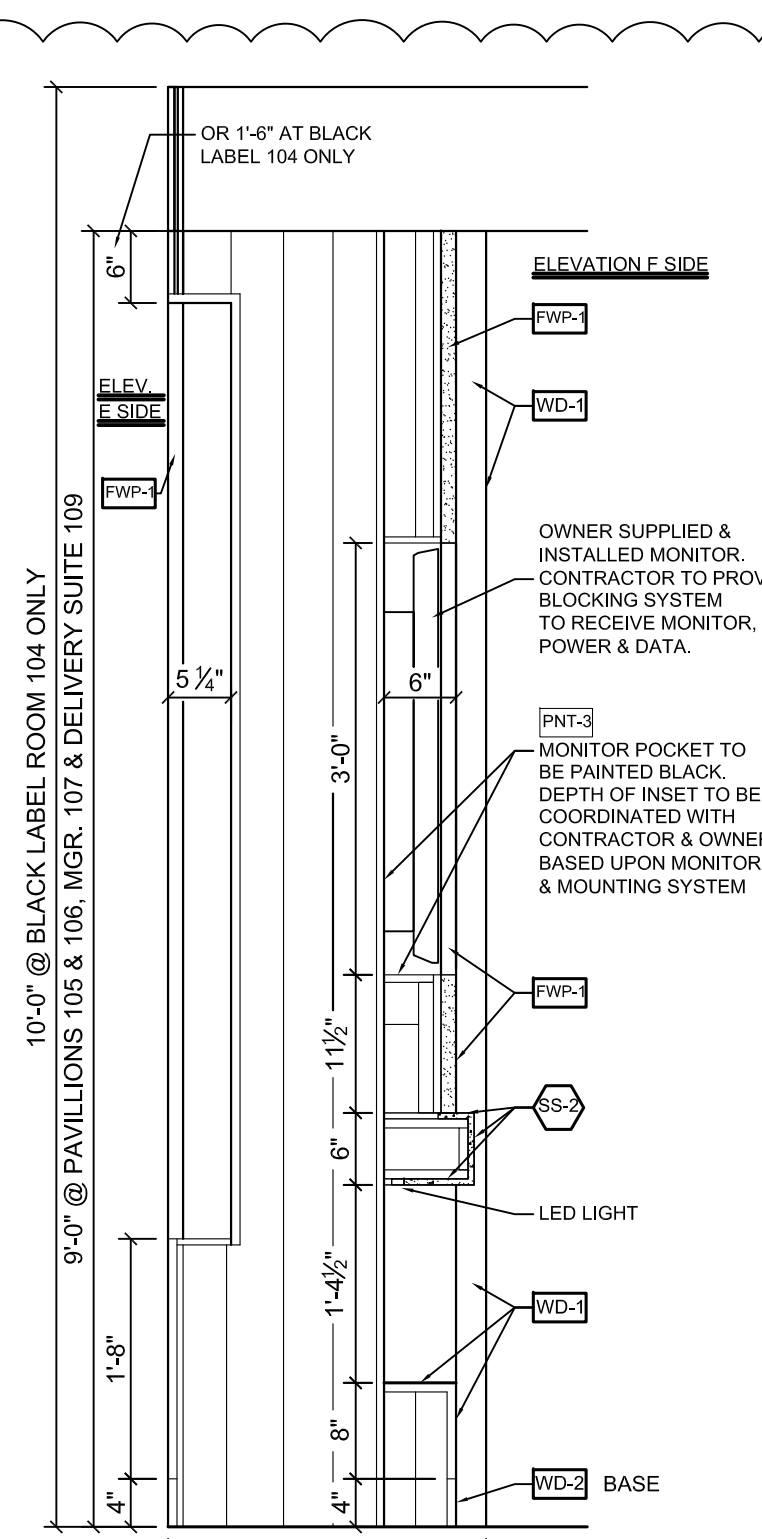
INT. MILLWORK WALL SECT'S Continued



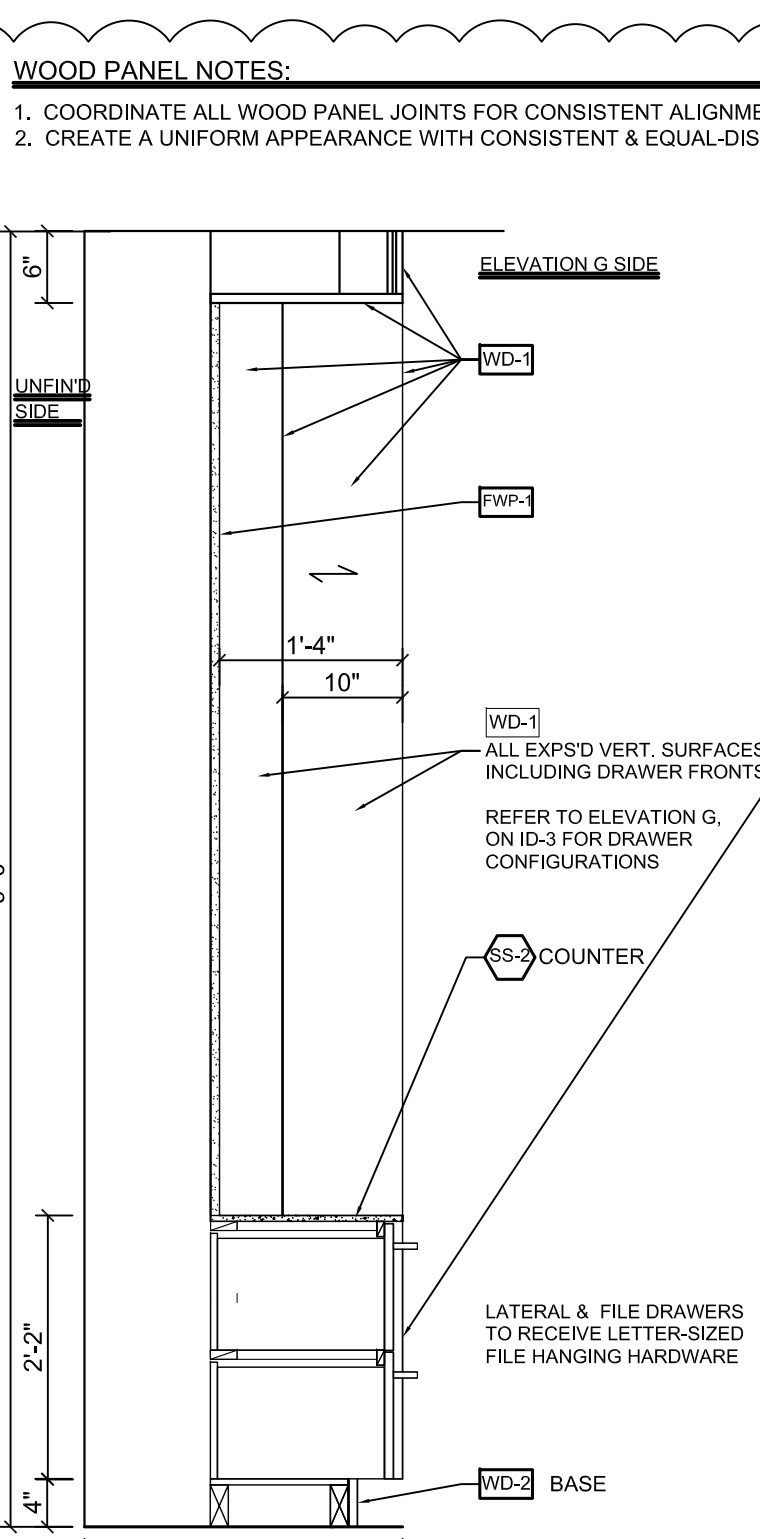
SECTION 1
SCALE: 3/4" = 1'-0"



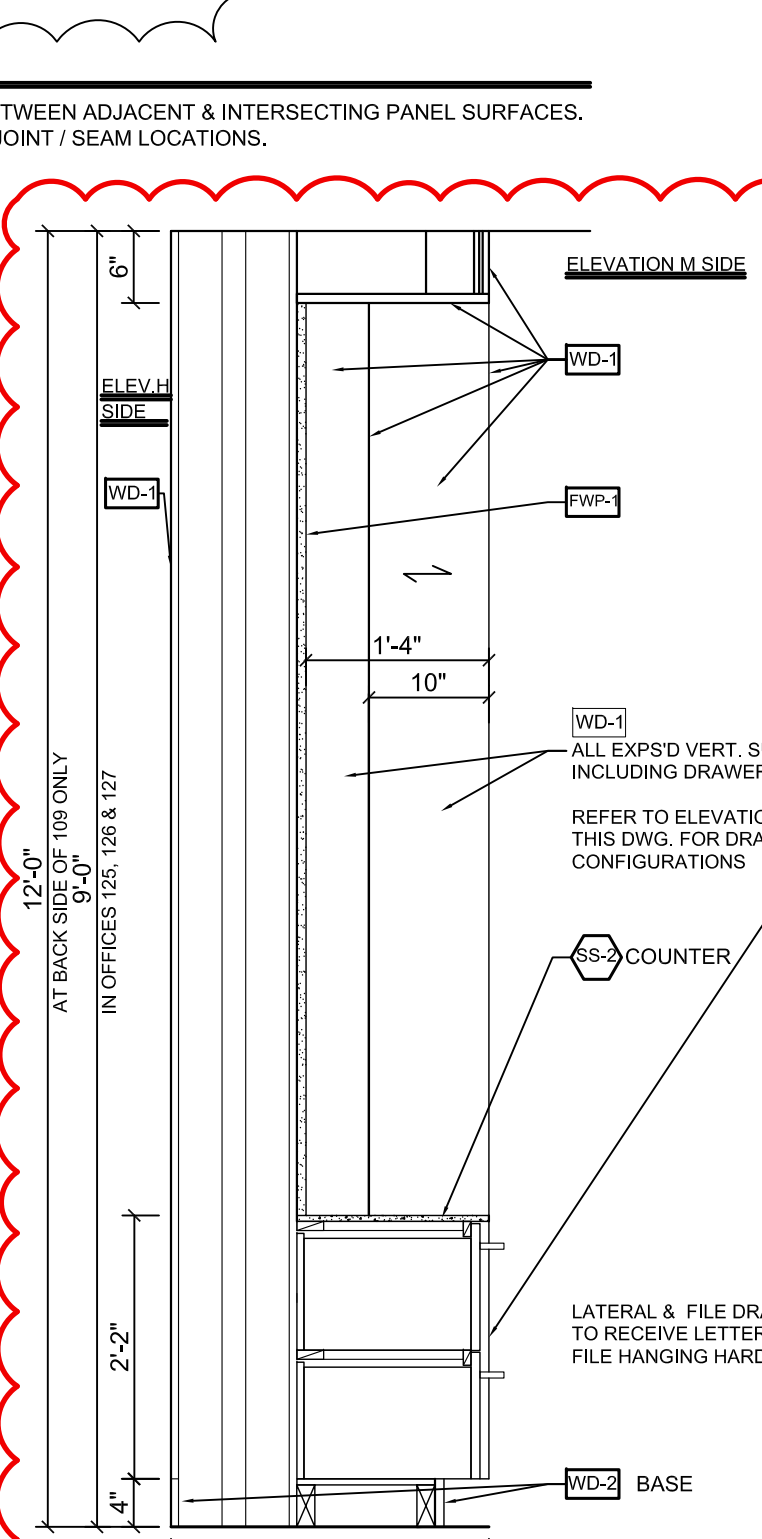
SECTION 2
SCALE: 3/4" = 1'-0"



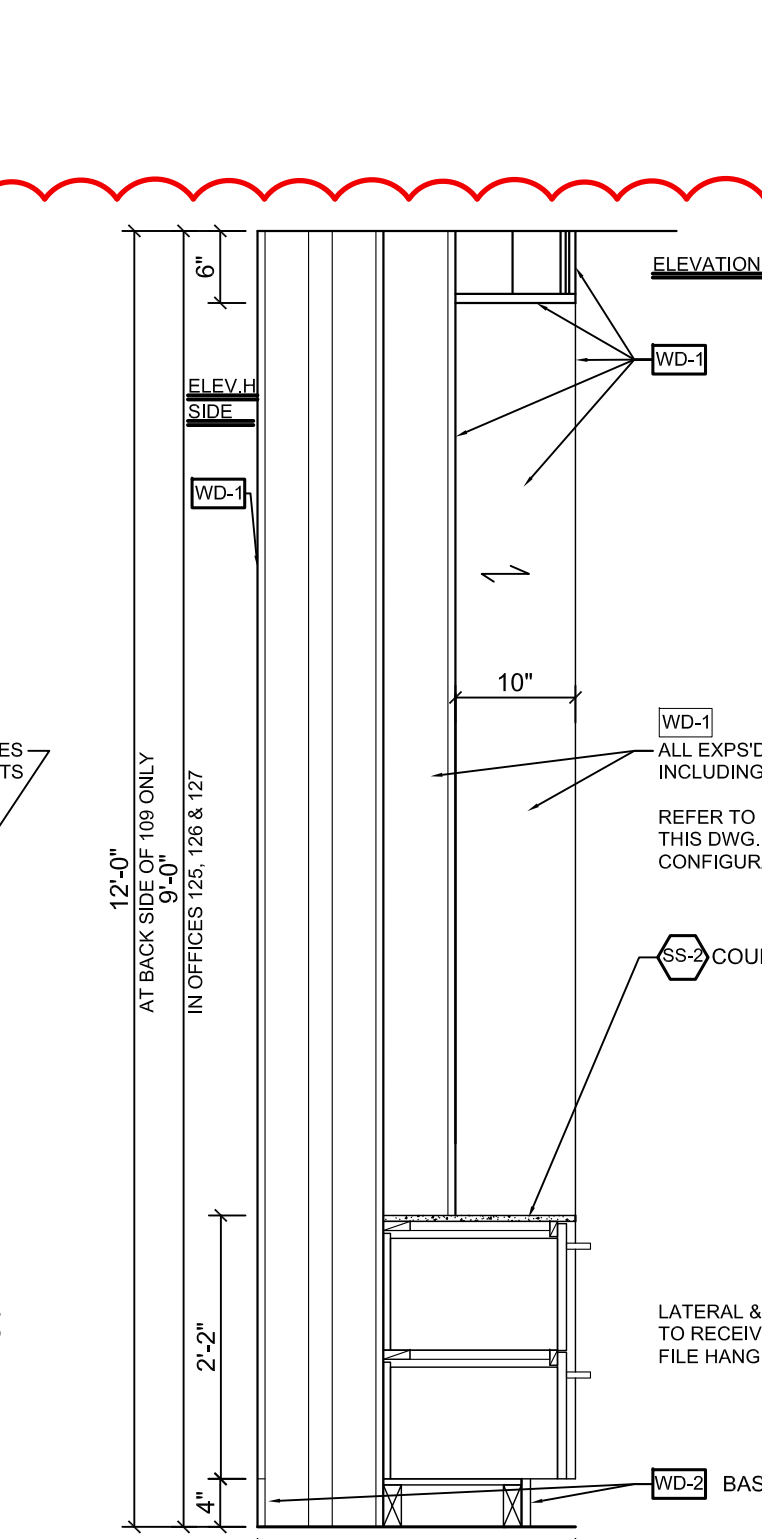
SECTION 3
SCALE: 3/4" = 1'-0"



SECTION 4
SCALE: 3/4" = 1'-0"

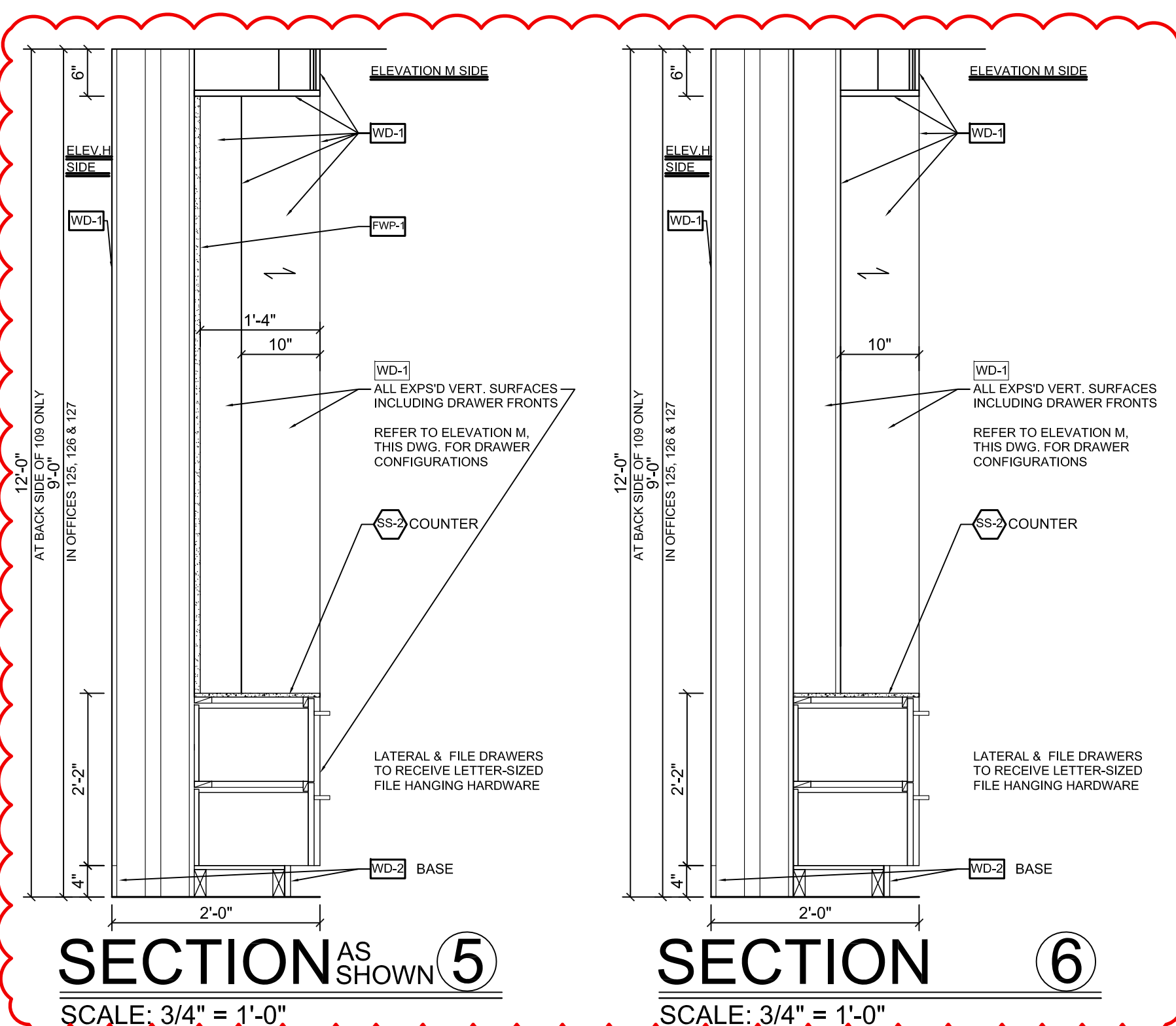


SECTION 5
SCALE: 3/4" = 1'-0"



SECTION 6
SCALE: 3/4" = 1'-0"

WOOD PANEL NOTES:
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2. CREATE A UNIFORM APPEARANCE WITH CONSISTENT & EQUAL-DISTANT JOINT / SEAM LOCATIONS.



SECTION 7
UNFIN'D/H SIDE

SECTION 8
UNFIN'D/H SIDE

INTERIOR MILLWORK WALL SECTIONS

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APRIL 27, 2021
2021-05-03 ADDENDUM 2

DRAWING REVISION DATES

ID-4
INTERIOR ELEVATIONS/DTLS
BID & PERMIT SET

DRAWN BY: LTS
SCALE: AS NOTED
DATE: APRIL 15, 2021