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Addendum 3
April 26, 2019
Page 1 of 1

This Addendum is issued by the Architect and shall become part of the Contract Documents and is also subject to the terms and conditions set forth in Divisions 0 and 1.

Refer to the Contract Drawings

- Item No. 1: Refer to A-201. **Revise** note “EXISTING BLOCK TO BE PAINTED” to “EXISTING BLOCK TO BE PAINTED. PATCH, REPAIR, AND REPOINT EXISTING BLOCK AS NECESSARY PRIOR TO PAINTING.” Revision to apply to all elevations.
- Item No. 2: Refer to Civil Drawings. **Clarification**, Gray colored sealer to be GAF StreetBond SB120 Pavement Coating or approved equal. Install per manufacturer recommendations.
- Item No. 3: Refer to attached marked up C-1.02 **Add** note “REMOVE AND REPLACE EXISTING BROKEN CURB.
- Item No. 4: Refer to Civil Drawings. **Clarification**, planters are to be provided with annual plantings.
- Item No. 5: Refer to A-401: Optional fireplace cladding in leu of white concrete panel: Best Tile, Plane Collection, 30x60 in True White

Refer to the Project Manual

- Item No. 6: Refer to SECTION 09250 - METAL STUDS, GYPSUM WALLBOARD & GYPSUM SHEATHING | 1.6 QUALITY ASSURANCE ; C. **Revise** sections as follows:
 - 1. Level 4.
 - a. In all areas where gypsum board will be painted.
- Item No. 7 **Delete** SECTION 01030 – ALTERNATES and **replace** with revised SECTION 01030 – ALTERNATES AND ITEMIZED BID (Addendum3). **Clarification** to Schedule of alternates, Base Bid and Alternate items were called out separately. **Add** Itemized Bid Schedule.

**** Refer to the attached Bidding RFI Log for additional clarifications. ****
End of Addendum

SECTION 01030 – ALTERNATES & ITEMIZED COSTS1.1 GENERAL:

- A. This section identifies each alternate by number and describes the basic changes to be incorporated into work only when that alternate is made a part of the work by specific provisions in Owner-Contractor Agreement. This section also identifies the itemized bid list. All items are to be included in the base bid but shall be listed separately for informational purposes.
- B. Related Requirements in Other Parts of the Project Manual:
 - 1. Method of quotation of the cost of each alternate and basis of Owner's acceptance of alternates: Bidding documents.
 - 2. Incorporation of alternates into work: Owner-Contractor Agreement.
- C. Referenced sections of specifications stipulate pertinent requirements for products and methods to achieve work stipulated under each alternate.
- D. Coordinate pertinent related work and modify surrounding work as required to properly integrate work under each alternate, and to provide the complete construction required by contract documents.

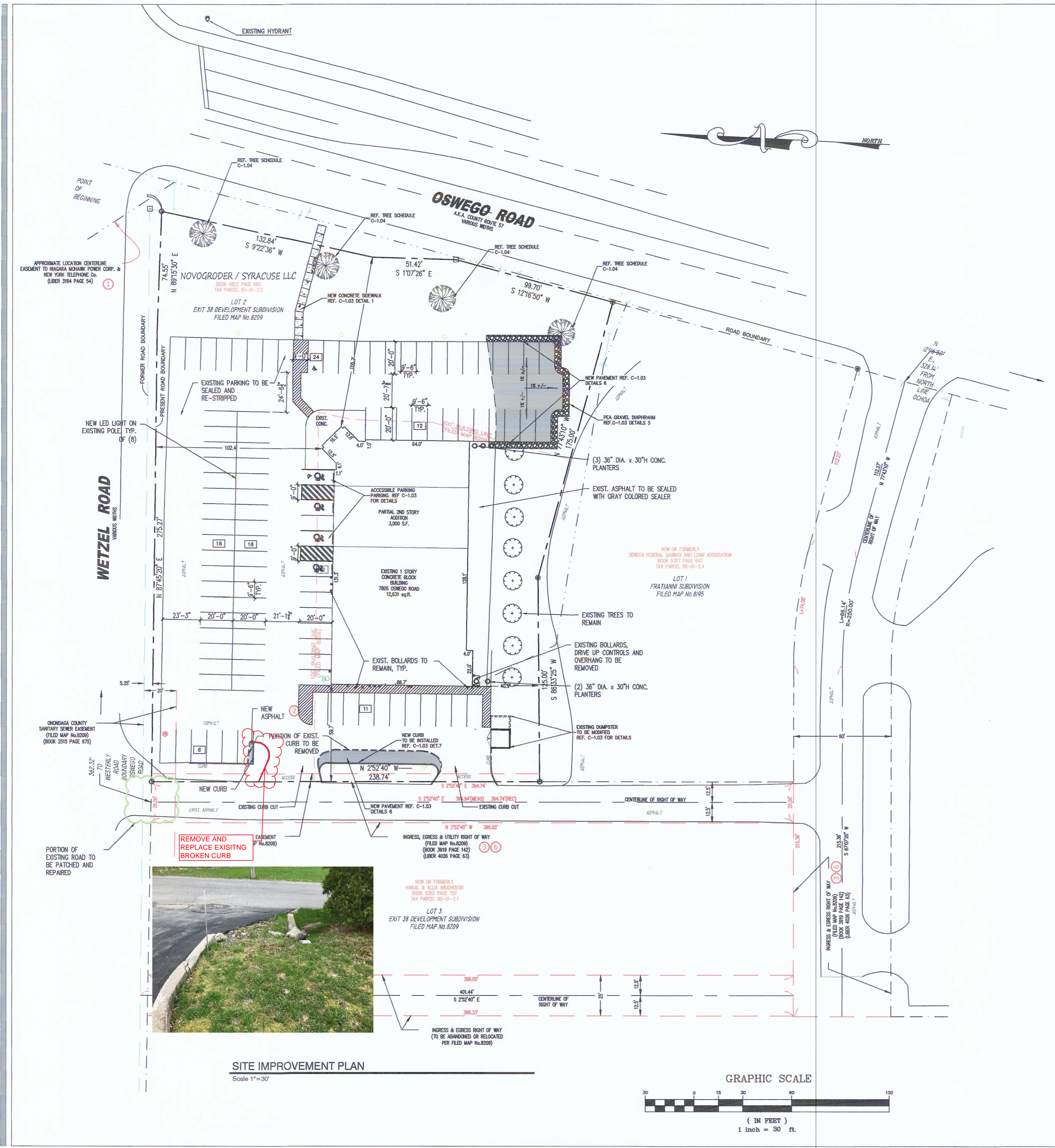
1.2 SCHEDULE OF ALTERNATES:

- A. Alternate #1 – Fireplace
 - 1. Base Bid – No fireplace or enclosure
 - 2. Alternate - Provide separate price for fireplace, enclosure and finishes in entirety.
- B. Alternate #2 – Sliding Automatic doors
 - 1. Base Bid – Refurbish existing sliding glass doors.
 - 2. Alternate - Provide price for complete replacement of sliding automatic doors. See A-601.
- C. Alternate #3 – Roof Replacement.
 - 1. Base Bid - Provide price to remove existing modified bit roof and coverboard and replace with new coverboard and fully adhered EPDM roof. Cost to be itemized separately for informational purposes.
 - 2. Alternate – Full roof replacement including insulation in its entirety.
- D. Alternate #4 – Operable Partition
 - 1. Base Bid – Manual operation.
 - 2. Alternate - Upgrade to electrically operated folding partition.
- E. Alternate #5 – Existing perimeter drywall.
 - 1. Base Bid – Patch/repair existing drywall as needed. Provide cost/sq.ft to replace drywall as needed.
 - 2. Alternate - Provide price to remove and replace existing perimeter drywall in its entirety per partition type 1. Gypsum board to be continuous to deck @ open ceiling areas and stop at 6” above finished ceiling @ dropped areas.

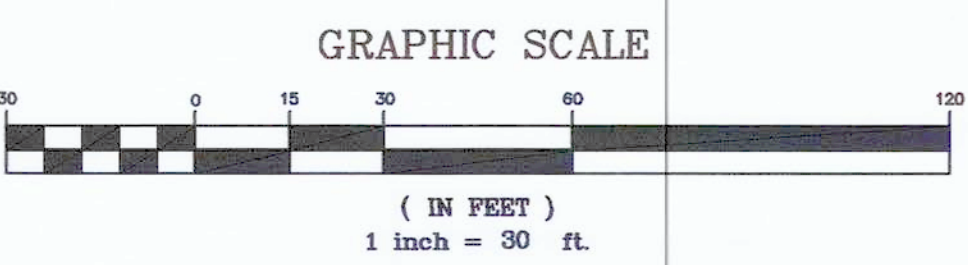
1.3 ITEMIZED BID SCHEDULE:

- A. Mold abatement. Can be an allowance.
- B. Provide cost/sq.ft to replace existing perimeter drywall as needed
- C. Roof replacement
- D. Parking Lot lights
- E. Parking lot seal stripe
- F. Curb repair at East entrance.
- G. Asphalt repair at Access driveway
- H. Additional pavement for expanded parking
- I. Sidewalk for bus stop access.

END_OF_SECTION



SITE IMPROVEMENT PLAN
Scale 1"=30'



LOT 2 SITE DATA
 PARCEL AREA: 1.87 ACRES
 ZONING: RC-1 (REGIONAL COMMERCIAL)
 PARKING: EXISTING TO REMAIN
 PROPOSED BUILDING AREA:
 EXISTING BUILDING: 12,631 S.F.
 PARTIAL 2ND STORY ADDITION: 3,000 S.F.
 TOTAL BUILDING AREA: 15,631 S.F.

LOT 2 PARKING DATA
 EXISTING PARKING TOTAL: 79
 EXISTING PARKING SIZE: 9' x 18'
 EXISTING DRIVING AISLE: ~24'
 TOTAL REQUIRED PARKING 127

PROPOSED TOTAL PARKING: 101*
 PROPOSED PARKING SIZE: 9'-6" x 20'
 PROPOSED DRIVING AISLE: 20' MIN.

* AREA VARIANCE: REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES FROM 127 TO 78 PARKING SPACES. GRANTED FEBRUARY 11, 2019 CASE No. 1737

GENERAL NOTES

1. WORK UNDER THIS PROJECT WILL INCLUDE: SITE CLEARING AND GRUBBING, SOIL EROSION AND SEDIMENT CONTROL, EARTH EXCAVATION, GRADING, STORM DRAINAGE, STORM WATER STORAGE, CONSTRUCTION, CONCRETE CURB AND MANHOLE, DRIVEWAY PAVING, NEW DRUMMUS CONCRETE PAVING, MAINTENANCE AND PROTECTION OF TRAFFIC, PAVEMENT MARKING, TOPSOILING, SEEDING AND LANDSCAPING.
2. ALL WORK ASSOCIATED WITH THIS PROJECT SHALL CONFORM TO THESE DRAWINGS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF CLAY, ENGINEERING, PUBLIC WORKS, AND FIRE DEPARTMENTS AS WELL AS THE PUBLIC UTILITIES COMPANIES.
3. ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.
4. LOCATIONS, ELEVATIONS, INVERTS AND SIZES OF EXISTING UTILITIES LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK. ANY SUBSTANTIVE VARIATION FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.
5. EXISTING DRAINAGE UTILITY SYSTEMS ARE TO REMAIN IN SERVICE, THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
6. THE CONTRACTOR SHALL VERIFY IN THE FIELD, IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, THE LOCATION OF ALL WORK COVERED BY THIS PROJECT IN ORDER TO ASSURE THAT UNNECESSARY PAVEMENT, TREE OR VEGETATION REMOVAL ARE AVOIDED. WORK SHALL NOT START UNTIL THIS FIELD VERIFICATION HAS BEEN MADE AND APPROVAL TO COMMENCE HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN ALL REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM TO THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH THE NEW YORK STATE LAW SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-962-7862 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
8. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS. WHILE THE WORK IS PROGRESSING, THE CONTRACTOR WILL BE REQUIRED TO SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
9. ALL UNPAVED AREAS WITHIN THE WORK AREAS AND AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYSDEC APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURBED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL TO BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
10. EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS PROJECT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR SHALL ARRANGE FOR DISPOSAL OF ALL DEMOLITION DEBRIS, CLEARED AND GRABBED MATERIAL, DEMOLISHED PAVEMENT AND MISCELLANEOUS UNSTABLE MATERIAL RESULTING FROM THE OPERATIONS OF SITE WORK, AT OFFSITE LOCATIONS, OR AS OTHERWISE DIRECTED BY THE OWNER.
12. AT NO TIME SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITIES VALVES, MANHOLE FRAMES, COVERS, RIMS, WEETS AND HYDRANTS SHOWN TO REMAIN TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION.

GENERAL CONSTRUCTION

1. THE CONSTRUCTION SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS ADOPTED BY ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
2. ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
3. ALL SAWCUT LINES SHALL BE PARALLEL AND COINCIDENT TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN. AWAY.
4. ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
5. NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
6. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
7. CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL, AND SAFETY MEASURES DURING CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR PROPERLY AND SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
9. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
10. ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, COLLECTORS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY BREACHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (A/E). MANHOLES, SOAK PITS, ETC. SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT, REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE, SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.

LAYOUT:

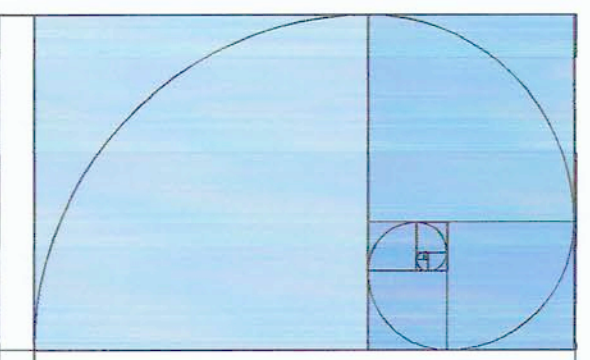
1. BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BEAMS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

PAVING:

1. NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
2. SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008. CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THESE DRAWINGS.
3. PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STROKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREEN. PLACEMENT IN INACCESSIBLE AREAS MAY BE BY HAND.
4. PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS WORK.
5. TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
 A. TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407-TACK COAT SHALL BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR THESE DRAWINGS.
 B. REMOVE LOOSEN AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
 C. APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ADJUTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
 D. TACK COAT ENHIRE VERTICAL SURFACE OF ADJUTING EXISTING PAVEMENT.
6. AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

STRIPING:

1. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. COLOR:
 DRIVE LANE DIVIDERS - WHITE
 PARKING DIVIDERS - WHITE
 NO PARKING ZONE WARNINGS - WHITE
 WALKING LINES - WHITE
 HANDICAP PARKING LINES AND SYMBOL - BLUE



WARNING
 UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW

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Revisions / Issues

No.	Description	Date

Updated per Town Comments 04/14/19

Client Name
Silvestri Architect PC
 1321 Millersport Hwy
 Buffalo, NY 14221

Project Name
Bryant & Stratton
 7805 Oswego Road
 Clay NY

Sheet Name
Site Improvement Plan

Project number 1-2019
 Date 01 January, 2018
 Designed by TZ
 Drawn by TZ
 Checked by CA

C-1.02
 Scale As Noted

Illege - Clay, NY

Clay, NY 13041

1

Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/12/2019	Sect. 01030	Bid Information general notes asks for two (2) alternates, section 01030 subsection 1.2 calls out four (4) alternates, which is correct?	All alternates are to be accounted for. - SA
4/12/2019	Sect. 01010	Summary of work section 01010 subsections 1.6 and 1.7 are all of these items truly furnished by the CM?	Summary of work to be revised as part of Addendum 1. - SA
4/12/2019	Sect. 07424	Specification section 07424 sub section 1.3 C and 1.3 E call out Florida and Canada respectively? How does this relate to this project in NY; USA?	References to Florida and Canada do not apply. - SA
4/12/2019	Sect. 07424	Specification section 07424 sub section 2.3 C and 2.3 K reference Canada and 2.3 M references Florida. How does this relate to this project in NY; USA?	References to Florida and Canada do not apply. - SA
4/12/2019	Sect. 14240	Specification section 14240 sub section 1.03.C.7 and 1.03.C.8 reference Canada? How does this relate to this project in NY;USA?	References to Canada do not apply. - SA
4/15/2019	C-1.03	Drawing C-1.03 detail 7 is labeled Granite Curb Detail; however it is the stated to be 4x14 inch concrete curb	Notation error in label. Curb shall be concrete per detail. - SA
4/15/2019	Sect. 12670	Specification Section 12670 states to refer to the A600 for the location and material data for the entrance mat and frames? I looked a couple of times, but the information is eluding me.	Please see CPT-2 walk off carpet. - SA
4/15/2019	Sect. 10221	Specification section 10221 DORMA, I have been on the phone with DORMA and their material is 4 -1/8 rails not 2 inches. The drawings/ specifications will need some adjustment.	Basis of Design was C.R. Laurence Co., Inc; CRL Clear View Series Frameless Glass Wall Office System: www.crl-arch.com . We will revise spec as part of addendum 1. - SA

Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/16/2019		Please provide specifications for the following scopes of work: Structural Steel, Metal Decking, Metal Stairs, Pipe & Tube Railings, Exterior Insulation & Finish Systems, Standing Seam Metal Roofing, and Fences & Gates.	Refer to structural drawings for Structural Steel and Metal Decking requirements. Metal stairs and railings are located in section 05500 Misc Metal Fabrication. EIFS and Standing Seam Specifications will be included as part of Addendum 2 (also attached) . See civil drawing for dumpster gate details and recommended manufacturer.
4/16/2019	A-401 A-504	Details D5/A401 and C4/A504 both call for a fireplace insert. D5/A401 does give some information as to what is desired. Are we to bid off of that information or will a full specification be issued?	Install per manufacturer's installation guidelines. Price out unit that is specified. If any upgrade/finish information is necessary to bid, please submit questions to architect.
4/16/2019	A-201	Detail D1/A201 shows dimensional letter signage and what appears to be a plaque/sign of some kind. These items were not listed in the 10540 Specialty Signs specification and are not specifically called out on the elevation. Are these items to be provided and installed by the GC? If so, can more information be provided?	College signage vendor to provide and install the exterior building sign. GC to provide all necessary blocking and electrical connections.
4/16/2019	Sect. 10210	Specification 10210 Miscellaneous Specialties, section 2.2 calls for Coat and Hat Racks. None are shown on the drawings. Please advise.	Please install coat rod and shelf at p-lam shelf at closet 130.
4/16/2019	Sect. 10210	Specification 10210 Miscellaneous Specialties, section 2.3 calls for a Stainless-Steel Shelving/Mop Holder. The specification tells us to provide one at the Janitor's Closets. There are no janitor's closets. Please advise. This item is also in specification 10570 Wardrobe & Closet Specialties, Section 2.0.	Janitorial sink is in Mech./Elec. 122 please install new steel shelf/mop holder next to mop sink.

Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/16/2019	Sect. 10570	Specification 10570 Wardrobe & Closet Specialties, section 1.1.B calls for Coat Rod and shelf in all coat closet locations. No products are specified for this within the specifications. Nothing is specifically shown either. It is assumed that it is to be provided in the handful of closets that are within the building per the note in the specification. Please advise.	Please install coat rod and shelf at p-lam shelf at closet 130. Install adjustable shelving at closet 139 & upper shelf at closet 107.
4/16/2019	Sect. 11457	Specification 11457 Television Mounts calls for television mounts to be installed as indicated on drawings. None are shown on drawings. Please advise.	Please provide television mounts at all 3 micro classrooms & next to reception desk indicated on drawing E-6.
4/16/2019	A-605	Rooms 111 & 114 are both scheduled to receive 2 colors of vinyl sheet flooring (SF-1 & SF-2). Drawing A-605 does not detail the intended pattern. Please advise if a pattern of said areas will be provided, as the sheet flooring pattern layout will have an impact on the quantities of the sheet flooring and the specified heat welding.	Floor plan provided - SA
4/16/2019	Sect. 08100	Page 4, 2.04;B;1;d – Are door edges required to be standard visible, seamless filled, or seamless continuously welded?	Seamless continuously welded. - SA
4/16/2019	Sect. 08100	Page 6, B;4 – Are hospital stops actually required on HM frames?	Hospital stops are not required. - SA
4/16/2019	Sect. 08210	Page 3, B;2 – Finish says to see A-600's. On A-603, under DOORS (WD-X), Stain is TBD – Will this be a custom stain match to something else on the job, or will the architect be selecting from wood door manufacturer's standard options?	Architect will select from specified manufacturers full range of options. - SA
4/17/2019		Any chance of getting signage sizes and schedule? No information in the spec's or drawings.	
		Please clarify that Door #'s 109 & 119 are to have access control hardware as specified in Drawing A-601 since Drawing E-6 does not include these doors.	Door #'s 109 & 119 are to also have access control hardware per Drawings A-601. I will include this in Addendum 2.

Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/17/2019	Sect. 08110	Spec section 08110 Steel Doors & Frames: Page 4, 2.04;B;1;d – Are door edges required to be standard visible, seamless filled, or seamless continuously welded? Page 6, B;4 – Are hospital stops actually required on HM frames?	Seamless continuously welded. Hospital stops not required - SA
4/17/2019	Sect. 08210	Spec section 08210 Wood Doors: Page 3, B;2 – Finish says to see A-600's. On A-603, under DOORS (WD-X), Stain is TBD – Will this be a custom stain match to something else on the job, or will the architect be selecting from wood door manufacturer's standard options	No custom stain match. Architect will select from specified manufacturers full range of colors.
4/18/2019	Sect. 08710	Section 08710 2.15 describes a Kantech access control system. We are not familiar with this, and we do not have access to these products. Is the access control system in the door, frame, and hardware scope, or is this being provided by an access control vendor?	
4/18/2019	Sect. 01010	Specification section 01010 sub section 1.27 states the subsurface soil investigation reports are at the end of the document, none were provided	We do not have a geotech report for this property. That section should be eliminated from the specification.
4/18/2019	S-203	S-203 detail 7 shows us over excavating to a Depth D?	We do not expect any over excavation since this is a prepared interior building, however, if unsuitable materials are found, "D" would have to be determined in the field
4/18/2019	S-203	What is the depth as the amount of slab removed is subject to the deptch for proper OSHA excavating/trenching requirements	We do not expect any over excavation since this is a prepared interior building, however, if unsuitable materials are found, "D" would have to be determined in the field
4/18/2019	C-102	C-102 has five (5) concrete planters - do you have a specification? Any plantings to be provided?	No, provide standard round commercial planters meeting approx. size - SA

Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/18/2019	C-102	C-102 grey sealer for asphalt - do you have a specification of what you would like for a material?	Gray colored sealer to be GAF StreetBond SB120 Pavement Coating or approved equal
4/18/2019		Will the access control doors be monitored for door position, i.e. door propped open, forced entry, etc.?	
4/19/2019	SS-101 4	P- Please refer to the SS101 & P4 drawings- There appears to be a clearance issues with the underground plumbing @ CL A.5/2.8. Please Advise	Piping may be rerouted in field as necessary to accommodate for column location. Coordinate with all other trades to ensure proper installation as structural drawings were not available until after Plumbing drawings were completed. -EBS
4/22/2019		I visited the site today and the building is extremely musty. The drywall on the perimeter that is depicted to just be patched and refinished is in rough shape and in all likelihood contains mold. Do you really want to keep this drywall?	
4/22/2019		Electrical Drawings E-5/ 1 AND 1 LINE DIAGRAM 1-e-2, depicts a new feeder conduit. On the west side of the landscape drawings the area where the new conduit is being installed is cross hatched. What is the intent of the cross hatching? Who is saw-cutting and removing the existing asphalt? Who is replacing the asphalt?	
4/23/2019		I may have already asked this so forgive me if I did. Does the school want to monitor door position on the access control doors? I.e; Notification that a door has been forced or propped open	
4/23/2019		Upon reviewing the drawings and the physical condition of the building we noticed that many of the exterior walls have no work shown on the demolition plans or architectural plans for the interior face. Some of these walls are in fairly rough shape. Please clarify what rooms will require existing drywall to be removed and new partitions to be put in their place.	

Ilege - Clay, NY

Clay, NY 13041

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Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/23/2019		Is there an elevation drawing showing the LVT pattern in areas LVT 1, 2 and 3 are called out together (I cannot find it)? If there is no drawing how should we plan for the additional labor on a pattern?	See attached Bryant & Stratton – Clay, NY Rendered Plan 1 from Interface for preliminary LVT Pattern layout. Color proportions will remain as shown. - SA
4/23/2019		Is there an elevation drawing for rooms 111 and 114 showing the sheet vinyl pattern in these two rooms (I cannot find it)? All notes show sheet vinyl 1 AND 2 in these rooms. If there is no drawing how should we plan for the additional labor on a pattern?	See attached SK-1 - SA
4/23/2019		FYI; Stair treads- Color: #20 Charcoal comes with a gray grit strip not black (as specified on finish legend). The black grit strip with this color is not an option	Gray is fine - SA
4/23/2019		Also please take into account once we remove the roof structure there isn't a practical way to protect the interior walls if the drywall is to remain. We will be open to the environment for a few weeks as the roof is raised and walls/ parapets are raised.	
4/23/2019		Standing Seam - Do you have a specification?	Included in Addendum 2 - SA
4/23/2019	Sect. 01010	Section 01010, it states that the GC is to obtain all of the permits? Do you have a building permit? If you don't have a building permit, I don't see how we will be able to start on 5/9 per your schedule.	No, Construction will be expected to start as soon as permit is obtained - SA
4/23/2019		Is there any asbestos or other hazardous materials?	Unlikely, building was constructed in 1995 - SA

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Date Requested	Drawing Ref.	RFI	RESPONSE/ COMMENT
4/23/2019	Has a core been performed on the existing roof? Do you know if the layers will separate for ALT 3 A & B?		No core has been performed. We are aware that there are some leaks, however overall roof condition is unknown. We want pricing to replace coverboard + membrane if shown to be feasible and if insulation is found to be in acceptable condition. We also want pricing for full roof replacement, including insulation replacement, if removing coverboard isn't feasible and/or if condition of insulation is found to be unacceptable due to water infiltration. -SA
4/23/2019	With addendum 1 changing the alternates, I want to verify that a performance and payment bond are not required for this project. Please advise.		Construction Manager to confirm - SA
4/23/2019	HVAC- are you sure you want to keep the small amount of duct for reuse in the entry vestibule?		Response from Engineer, "...to save the project some money we could reuse the ductwork in the vestibule. If the contractor wants to replace it with new we have no problem with it.
4/24/2019	AD-102 A-103	AD-102 has notes 15 & 16 as alternate 3, making it seem that the existing roof remains, except for the high new portion of the roof. A-103 state the existing Bit Mod is removed and fully adhered EPDM, but we have alternates 3A & 3B which seems to imply the base bid is to leave the Bit Mod, and just install cricketing as need in the existing roof, and only put a new roof on the raised roof	