

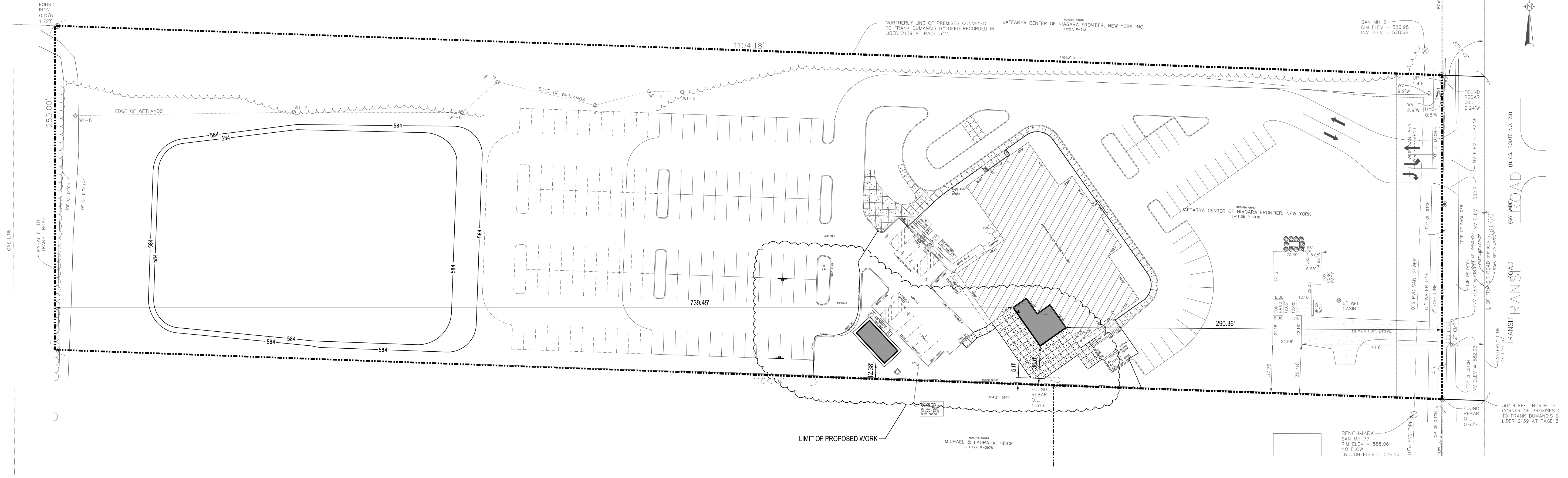
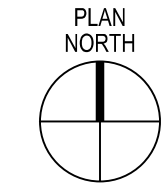
**JAFFARYA CENTER
10300 TRANSIT ROAD
AMHERST, NY**

MARK	DATE	DESCRIPTION
REVISIONS		
	PROJECT NO:	D51.016.002
	DATE:	06/26/18
	SCALE:	AS NOTED
	DRAWN BY:	JU
	DESIGNED BY:	JU
	CHECKED BY:	JU
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

CIVIL

OVERALL SITE PLAN

C-100



SITE DATA TABLE - JAFFARYA CENTER, 10300 TRANSIT ROAD, AMHERST, NY:

ZONING CLASSIFICATION: SA
PROJECT SITE: 6.14 ACRES
PROPOSED PROJECT: BUILDING ADDITION

INTERIOR GREENSPACE: REQUIRED = 5%
 PROVIDED = 11.7%

PARKING:

REQUIRED PARKING SPACES: 189 SPACES TOTAL PER CODE (120 SPACES FOR FACILITY TYPE)
6 ADA SPACES REQUIRED

PROVIDED PARKING SPACES: 189 PARKING SPACES (TOTAL) INCLUDING 6 ACCESSIBLE SPACES
121 SPACES INCLUDING 6 ACCESSIBLE SPACES (DENOTED IN SOLID LINES)
AN ADDITIONAL 68 PARKING SPACES (DENOTED IN DASHED LINES)

APPROVED AS PART OF PREVIOUS SITE PLAN (SP-12-07)

BUILDING SETBACKS:

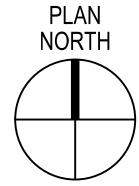
LOCATION	REQUIRED:	PROVIDED:
FRONT	50'	290.36'
SIDE	30.0'	30.0'
REAR	30.0'	739.45'

ACCESSORY USE SETBACKS:

LOCATION	REQUIRED:	PROVIDED:
SIDE	5'	5'



USER
DATE
TIME

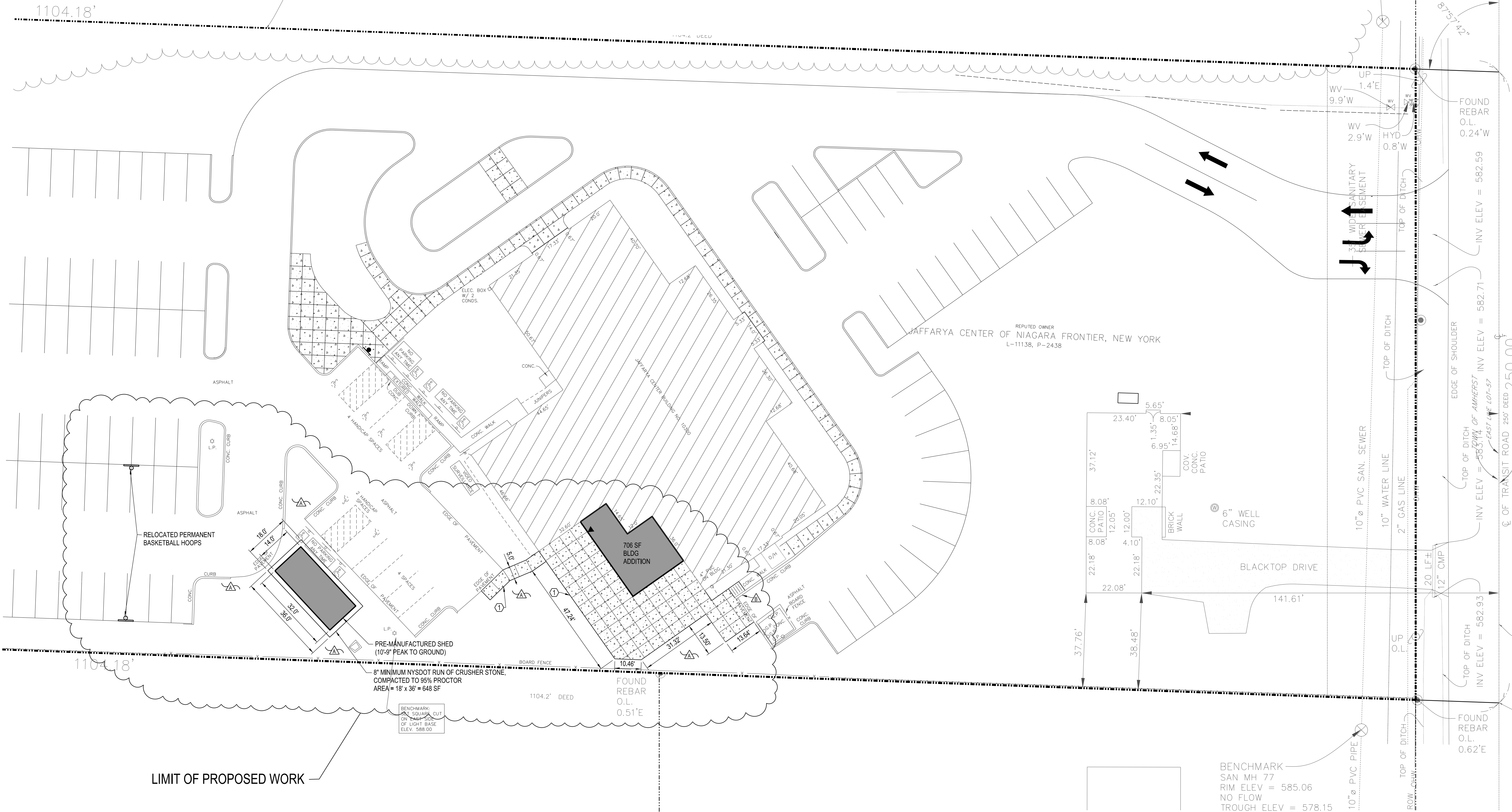


NORTHERLY LINE OF PREMISES CONVEYED TO FRANK DUMAHOIS BY DEED RECORDED IN LIBER 2139 AT PAGE 342.

SAN MH 3
RIM ELEV = 583.95
INV ELEV = 578.68

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 Buffalo, New York 14203
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JAFFARYA CENTER
10300 TRANSIT ROAD
AMHERST, NY



LIMIT OF PROPOSED WORK

- PROPOSED LEGEND**
- PROPERTY LINE
 - - - - - PROPOSED CONCRETE PAVEMENT/SIDEWALK
 - ◀ DOOR LOCATION
- NOTE LEGEND**
- ▲ 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN.
 - ▲ SAWCUT CURB TO MATCH PROPOSED GRADES
- DETAIL LEGEND**
- ① CONCRETE SIDEWALK

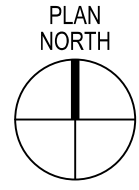
- GENERAL NOTES**
1. BOUNDARY SURVEY INFORMATION WAS PROVIDED BY NUSSBAUMER & CLARKE, INC. DATED 08-08-07. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. TOPOGRAPHIC BACKGROUND FOR EXISTING CONDITIONS TAKEN FROM CADD DRAWINGS OF THE LATEST APPROVED PLANS.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.



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CIVIL
SITE PLAN

C-101

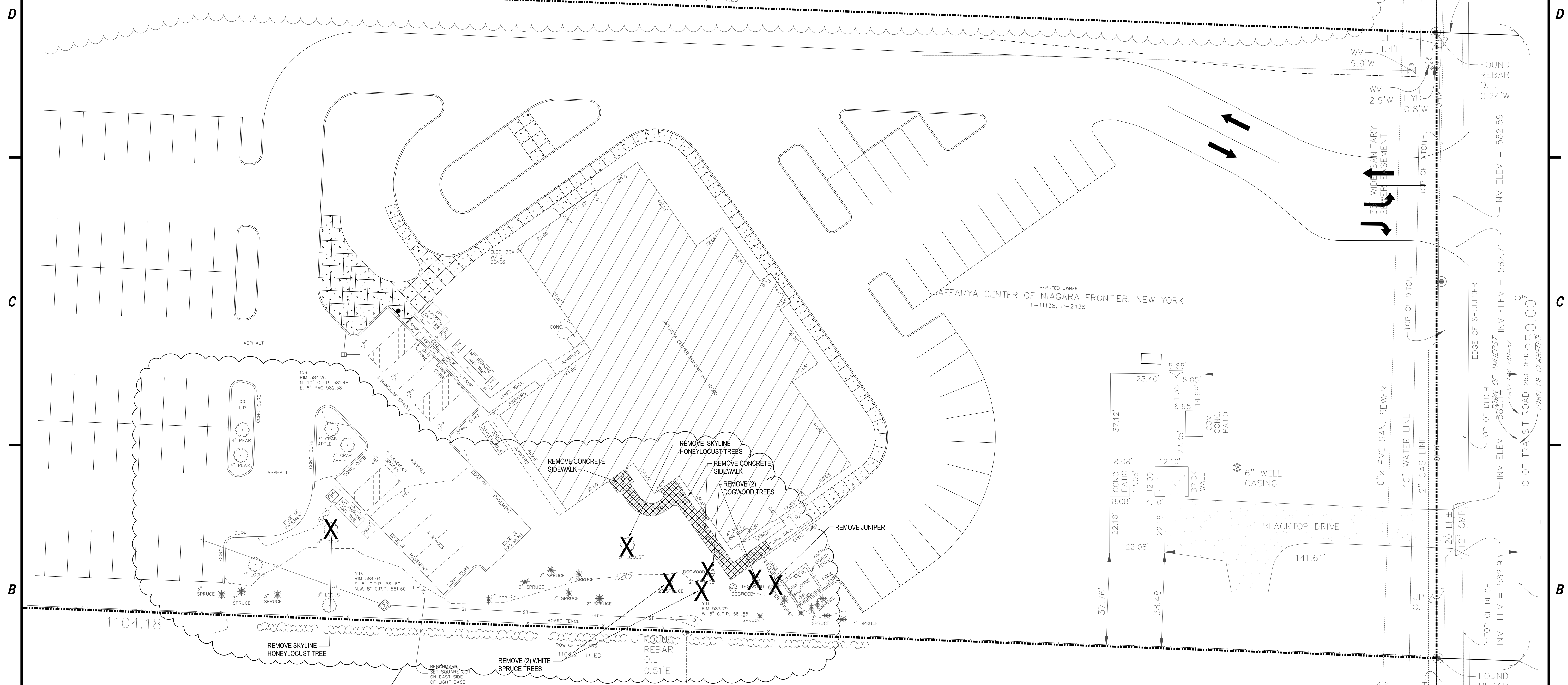


1104.18'

NORTHERLY LINE OF PREMISES CONVEYED TO FRANK DUMAHOIS BY DEED RECORDED IN LIBER 2139 AT PAGE 342.

REPUTED OWNER
JAFFARYA CENTER OF NIAGARA FRONTIER, NEW YORK INC.
L-11227, P-2121

SAN MH 3
RIM ELEV = 583.95
INV ELEV = 578.68



REPUTED OWNER
JAFFARYA CENTER OF NIAGARA FRONTIER, NEW YORK
L-11138, P-2438

LIMIT OF PROPOSED WORK

DEMOLITION NOTES:

- CONTRACTOR TO REMOVE & DISPOSE OF ALL ITEMS INDICATED & ANY ITEMS INCIDENTAL TO THE CONSTRUCTION AS REQUIRED.
- CONTRACTOR SHALL PROTECT/PRESERVE ALL EXISTING ITEMS TO REMAIN, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVEMENT, OVERHEAD & BURIED UTILITIES, TREES LANDSCAPING, ETC. DAMAGE TO ITEMS SCHEDULED TO REMAIN SHALL BE REPAIRED OR REPLANTED AT NO ADDITIONAL COST TO THE OWNER.
- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDER-GROUND FACILITIES LOCATED AND MARKED PRIOR TO EXCAVATION/DEMOLITION/CONSTRUCTION.
- ALL UTILITY TERMINATIONS SHALL BE IN ACCORDANCE W/ THE APPLICABLE UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS/DEBRIS REMOVED FROM THE SITE.
- CONTRACTOR TO OBTAIN HIGHWAY WORK PERMIT PRIOR TO THE START OF CONSTRUCTION. CALL FOR STAKEOUT OF UTILITIES BEFORE STARTING WORK. NOTIFY ENGINEER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND IN THE FIELD.
- THIS PLAN IS PREPARED FROM A SURVEY SHOWING KNOWN SURFACE FEATURES. IT IS INTENDED AS A GUIDE TO THE CONTRACTOR, NOT AS A COMPLETE AND UNIVERSAL DEMOLITION PLAN. SEE THE SITE PLAN, MORE FEATURES (NOT INDICATED) MAY REQUIRE DEMOLITION TO CONSTRUCT THE SITE PLAN. CONTRACTOR MUST VISIT THE SITE TO CONFIRM DEMOLITION EFFORT PRIOR TO BIDDING.
- REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT TO THE LIMITS INDICATED. SAW CUT CONCRETE TO THE NEAREST EXISTING CONTROL/EXPANSION JOINT.
- BUILDING DEMOLITION SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS/REGULATIONS.
- MAINTAIN STORM SEWER CONTINUITY & POSITIVE DRAINAGE DURING DEMOLITION, REMOVAL & CONSTRUCTION OF STORM SEWERS & INLETS.

LEGEND:

- CONCRETE PAVEMENT TO BE REMOVED
- TREES TO BE REMOVED



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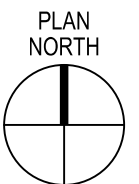
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CIVIL

DEMOLITION PLAN

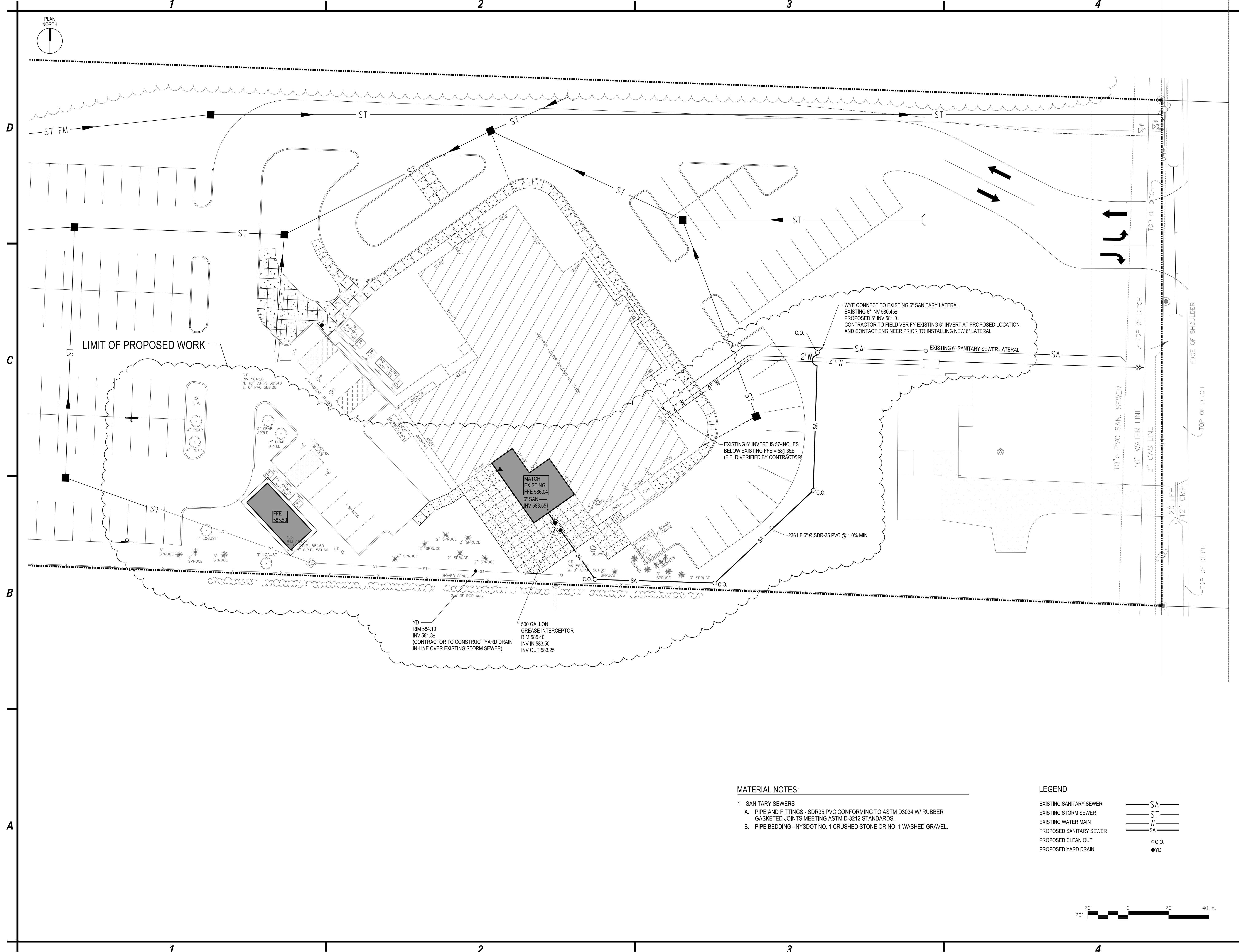
C-102

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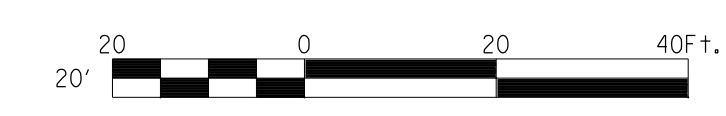
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JAFFARYA CENTER
 10300 TRANSIT ROAD
 AMHERST, NY



- MATERIAL NOTES:**
- SANITARY SEWERS
 - PIPE AND FITTINGS - SDR35 PVC CONFORMING TO ASTM D3034 W/ RUBBER GASKETED JOINTS MEETING ASTM D-3212 STANDARDS.
 - PIPE BEDDING - NYSDOT NO. 1 CRUSHED STONE OR NO. 1 WASHED GRAVEL.

- LEGEND**
- EXISTING SANITARY SEWER — SA —
 - EXISTING STORM SEWER — ST —
 - EXISTING WATER MAIN — W —
 - PROPOSED SANITARY SEWER — SA —
 - PROPOSED CLEAN OUT — o.c.o.
 - PROPOSED YARD DRAIN — ● YD



MARK	DATE	DESCRIPTION
REVISIONS		

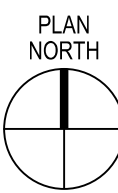
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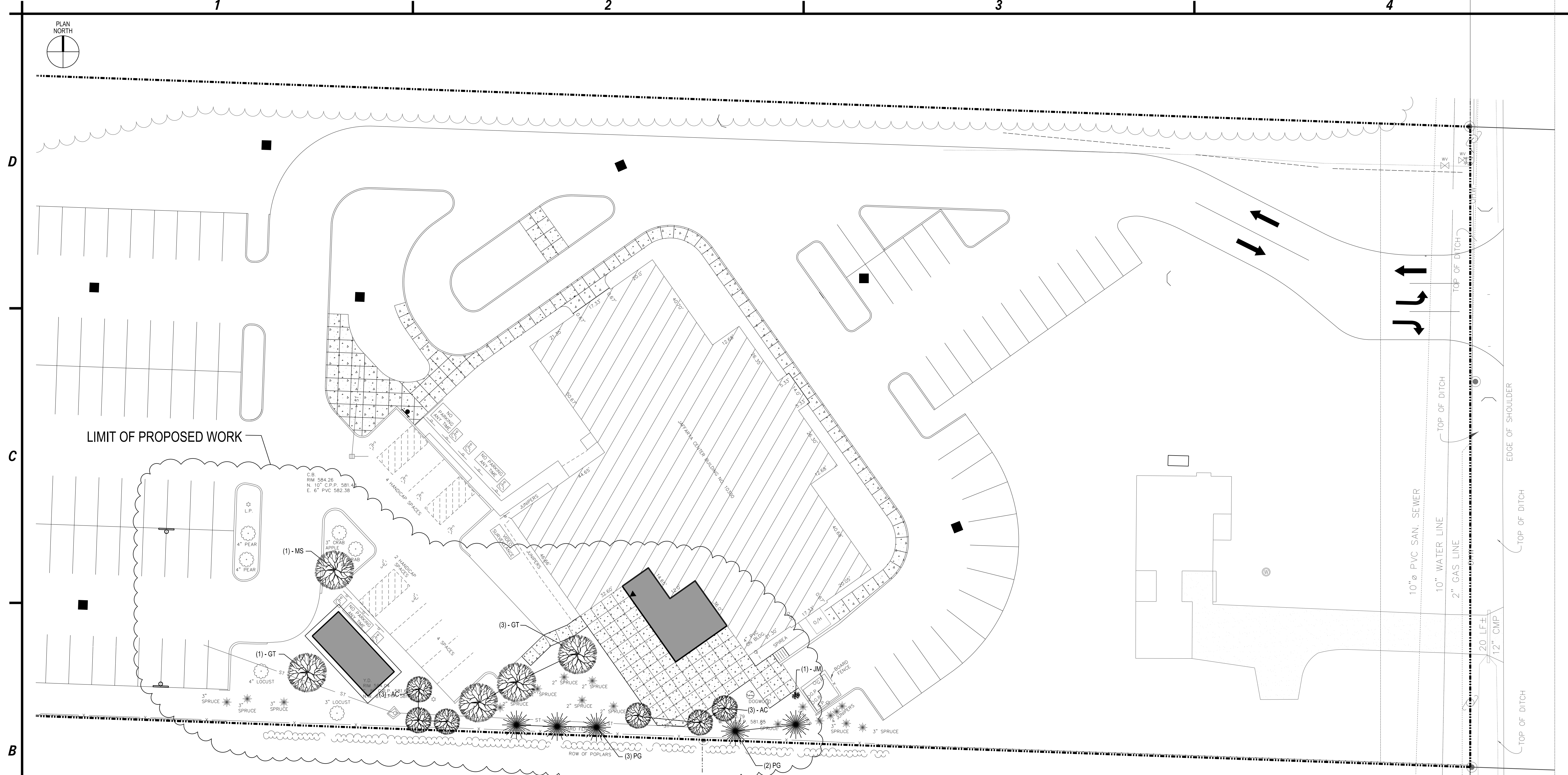
UTILITY PLAN

C-104



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**JAFFARYA CENTER
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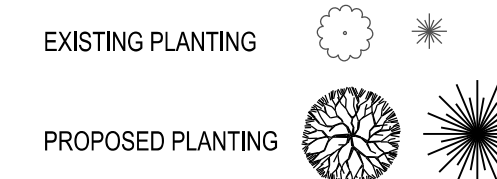
PLANTING SPECIFICATION

1. SCOPE OF WORK
 - A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING, AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE INCLUDING ALL LABOR MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. MATERIALS
 - A. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED FREE FROM DISEASE AND INSECTS. QUALITY AND PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK AND BE OF NUMBER ONE GRADE.
 - B. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
3. FERTILIZER
 - A. FERTILIZER SHALL BE MILORGANITE (6-2-0)
4. GENERAL WORK PROCEDURES
 - A. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING.
5. WEEDING
 - A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
6. SOIL CONDITIONING
 - A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
7. PLANTING
 - A. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - B. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, AS SHOWN ON THE PLANTING DETAILS.
 - 3 PARTS TOPSOIL
 - 1 PART PEAT MOSS OR COMPOST
 - 1/3 PART MILORGANITE FERTILIZER
 - C. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLAN 1/2 WAY, AND WATER, COMPLETE BACK-FILLING AND WATER THOROUGHLY.
 - D. ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
 - E. IMMEDIATELY AFTER PLANTING, STAKE ALL TREES WITH 3 CEDAR STAKES PER TREE.
 - F. PREPARE RAISED EARTH SAUCER AS WIDE AS PLANTING HOLE OF EACH PLANT.
8. FINISH GRADING
 - A. PLUS/MINUS .1 FOOT OF FINISH GRADE.
 - B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING.
 - C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
9. GUARANTEE
 - A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR.
10. CLEAN-UP
 - A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK, ALL ACCEPTABLE CONDITIONS AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.
11. MAINTENANCE
 - A. MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.
 - B. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- F. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- G. AFTER SHRUB BEDS AND TREE SAUCERS ARE BACKFILLED AND FINE GRADED MULCH WITH 3" DEPTH OF DARK, SHREDDED HARDWOOD BARK MULCH.

NOTES:

1. ALL INTERIOR LANDSCAPED AREA SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
2. ALL TREE SAUCERS AND SHRUB BEDS SHALL RECEIVE A MINIMUM OF THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
3. ALL TREES SHALL BE STAKED WITH THREE (3) WOOD STAKES AS SHOWN ON THE TREE PLANTING DETAIL.
4. A ROOT PROTECTION ZONE SHALL BE ESTABLISHED AROUND ANY TREE WHICH IS IDENTIFIED ON THE LANDSCAPE PLAN AS A TREE TO BE PRESERVED. THE ROOT PROTECTION ZONE IS IDENTIFIED BY CREATING A CIRCLE AROUND THE TREE. THE SIZE OF WHICH IS DETERMINED BY PROVIDING ONE FOOT OF RADIUS FOR EVERY INCH DIAMETER OF THE TREE MEASURED AT GREATEST HEIGHT (DBH). THE ROOT PROTECTION ZONE SHALL BE MARKED IN THE FIELD WITH A PHYSICAL BARRIER SUCH AS TEMPORARY FENCING OR OTHER MEANS WHICH SHALL PREVENT CONSTRUCTION ACTIVITIES FROM OCCURRING WITH THE TREE ROOT PROTECTION ZONE. METHODS FOR PRESERVING AND PROTECTING EXISTING TREES SHALL BE INCLUDED AS PART OF THE LANDSCAPE PLAN.

LEGEND:



PLANT LIST				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
AC	6	Amelanchier Canadensis	Shadblow Serviceberry	8' Ht. (Clump form)
GT	4	Gleditsia Triacanthos Inermis "Skyline"	Skyline Honeylocust	2 1/2" Caliper
MS	1	Malus "Spring Snow"	Spring Snow Crabapple	2 1/2" Caliper
JM	1	Juniperus Scopulorum "Blue Mofletti"	Blue Moflet Juniper	4-5' Ht.
PG	5	Picea Glauca	White Spruce	5-6' Ht. (To bottom of leader)



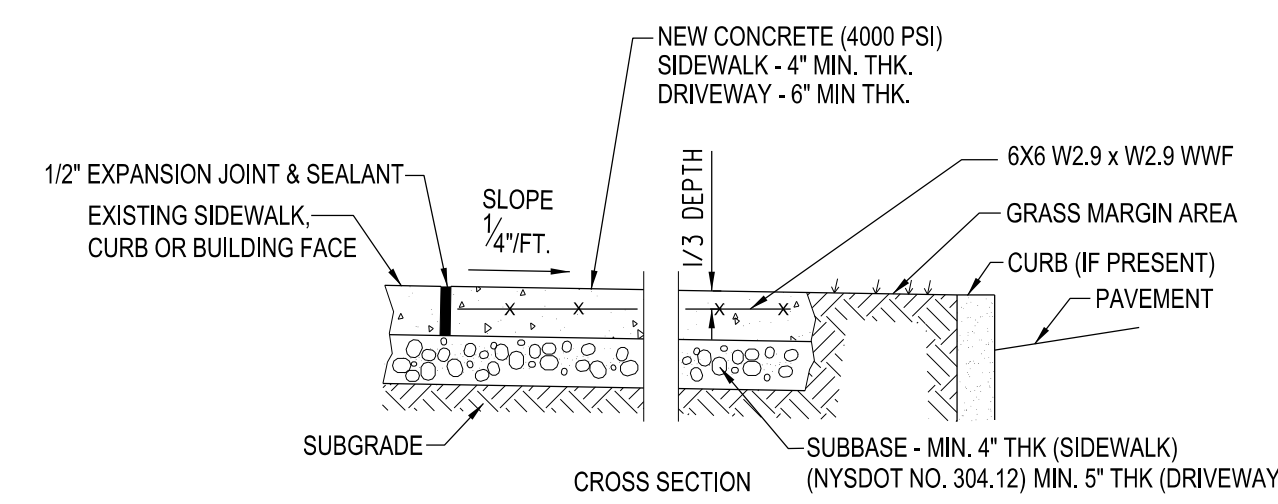
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LANDSCAPING PLAN

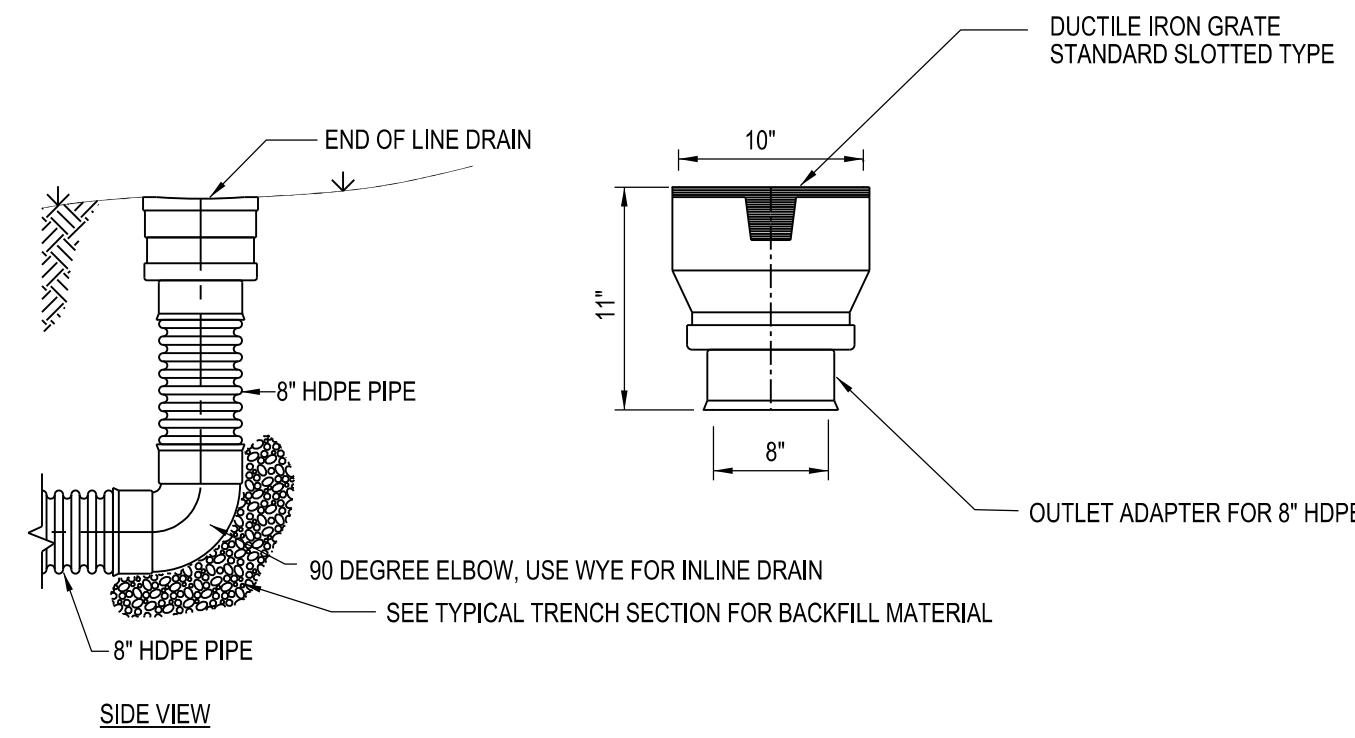
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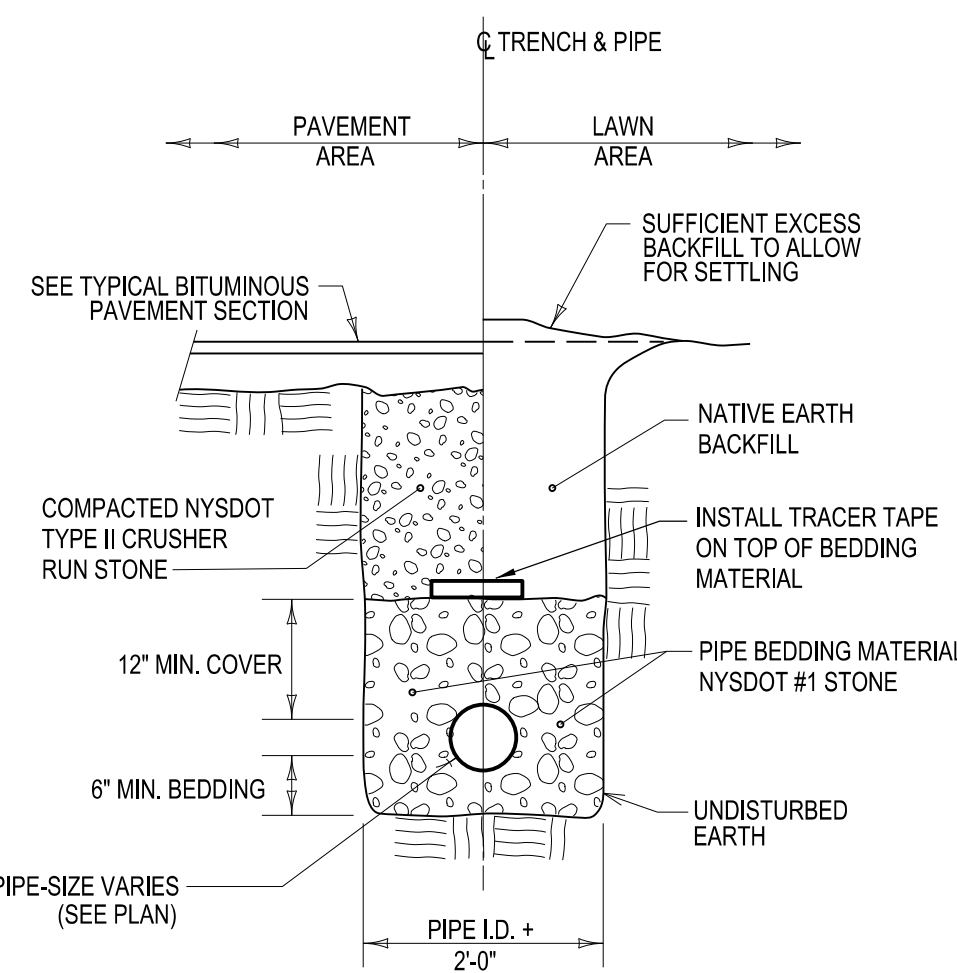


- NOTES:
- CONTROL JOINTS TO BE AT 5'-0" O.C. BOTH WAYS OR AS SHOWN ON DRAWINGS SEAL JOINTS PER SPECIFICATIONS
 - CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3.

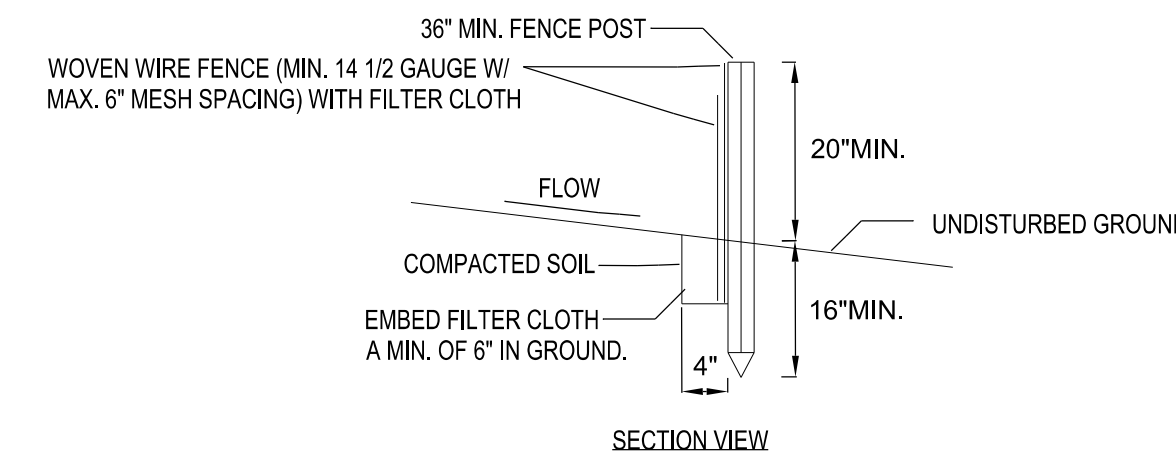
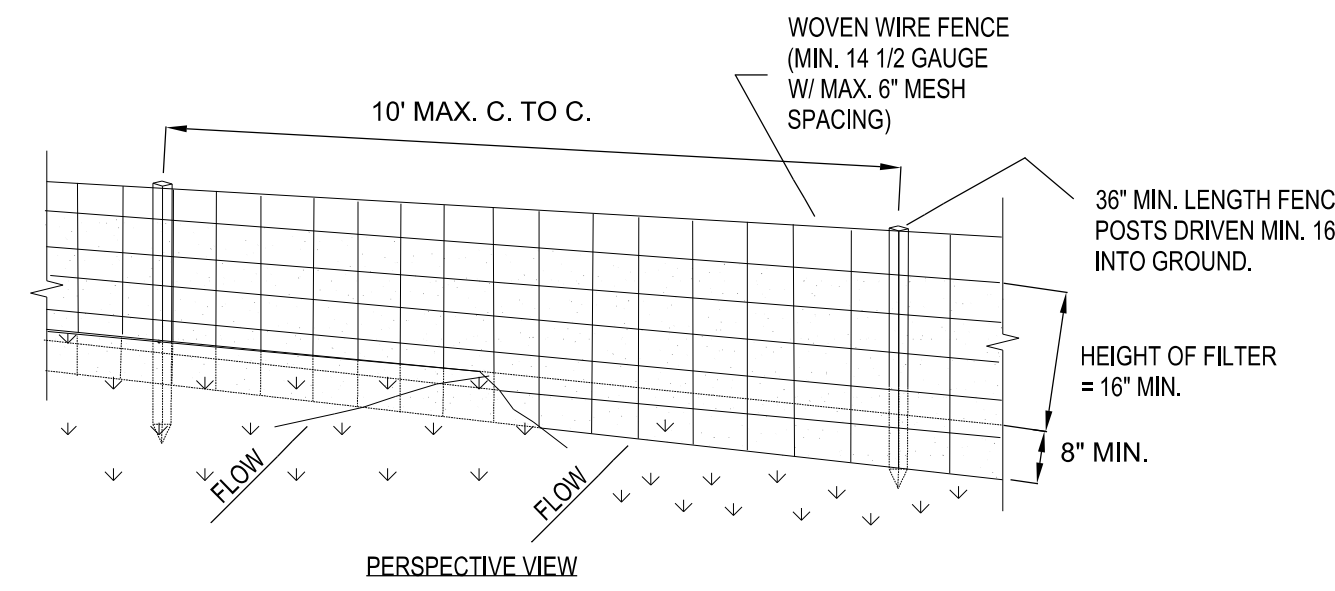
CONCRETE SIDEWALK
N.T.S.



TYPICAL PRECAST CATCH BASIN
N.T.S.



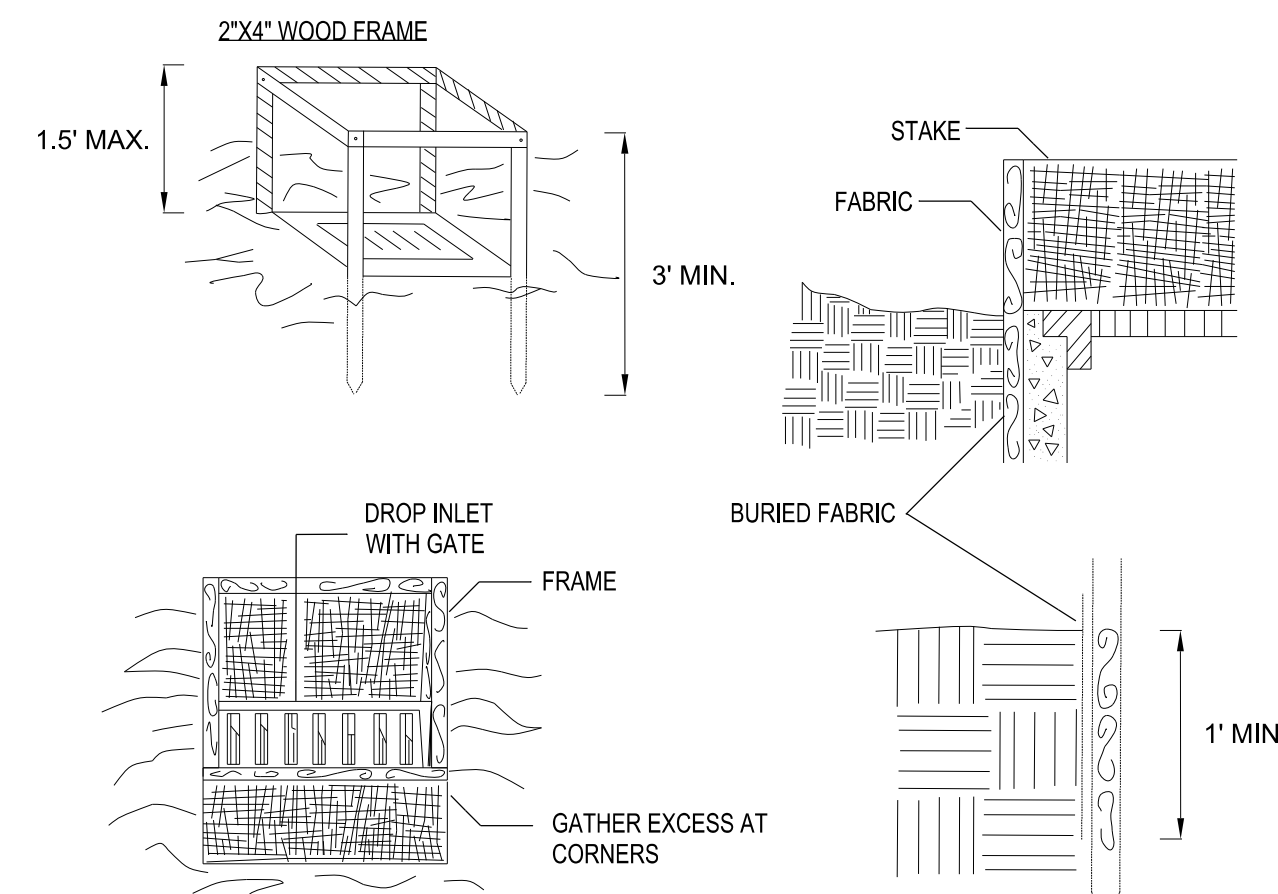
UTILITY TRENCH SECTION



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTEX, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

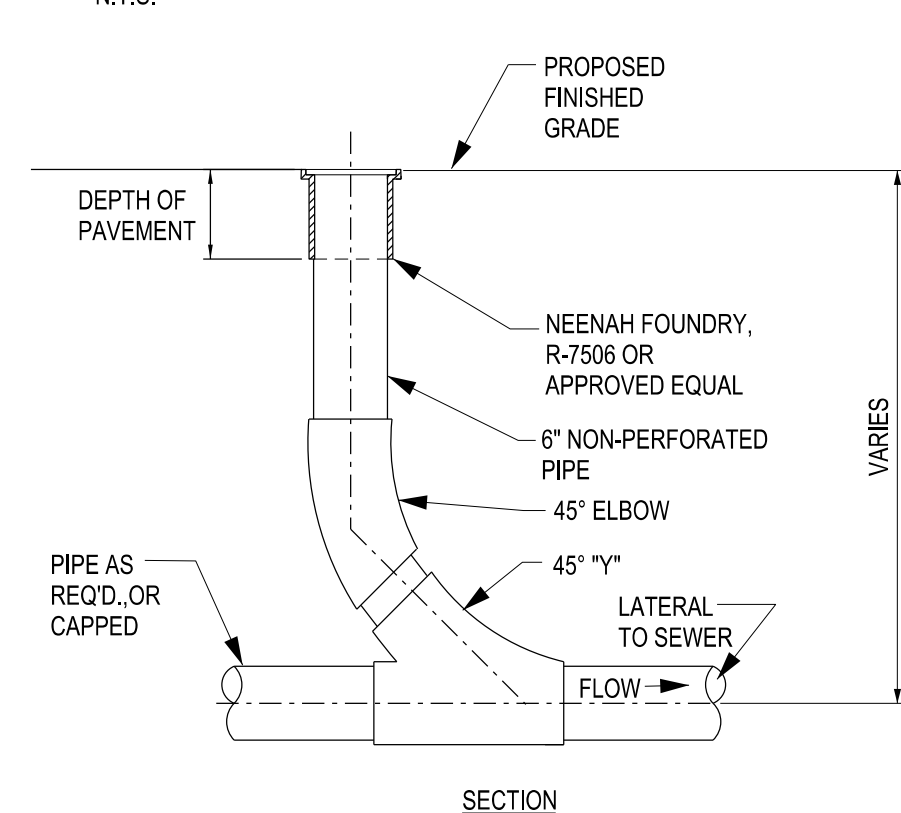
SILT FENCE
N.T.S.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2' x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION
N.T.S.



TYPICAL SEWER CLEANOUT

